

**Planning Division Case Report**  
**SPEX25-000002**

**Review Date:** January 22, 2025

**Property Owner:** John Blanchette for Crakat Industries Inc.

**Representative:** Boral Engineering & Design Inc.

**Request:** The applicant is requesting a special exception use to construct and operate a vehicle repair, major use for a trailer repair and multi-use warehouse.

**Location:** 818/824 Ceitus Terrace  
Cape Coral, FL 33991  
15-44-23-C2-03619.0300

**Prepared By:** Patrick Carlton White, AICP, Senior Planner

**Approved By:** Mike Struve, AICP, Planning Team Coordinator

**Recommendation:** **Approval with conditions**

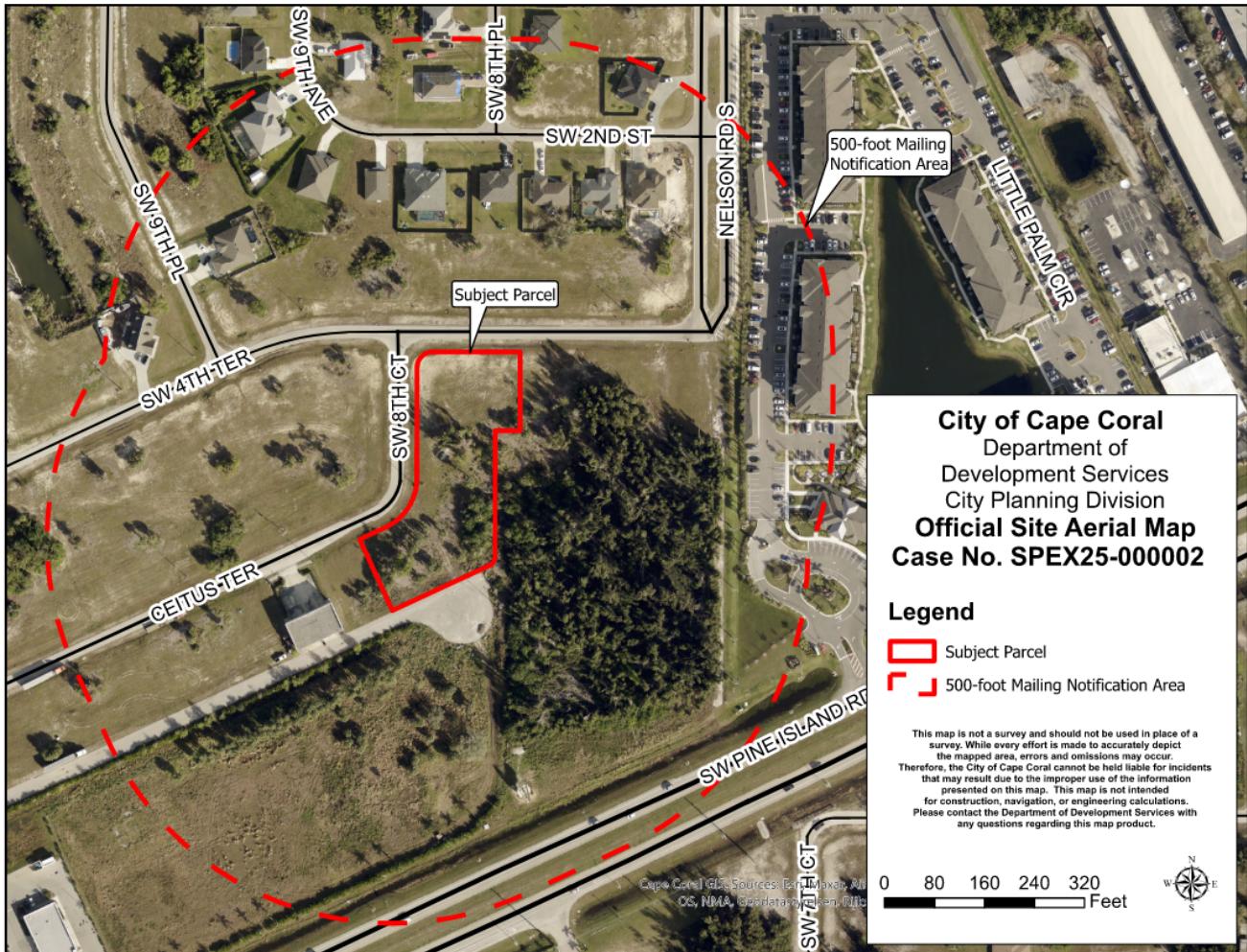
**Urban Service Area:** Transition

**Property Description:**

The subject property consists of a 1.38 acre parcel located approximately 0.06 miles west of the intersection of Nelson Road and SW 4<sup>th</sup> Terrace, north of Pine Island Road. The property has road frontage on Ceitus Terrace, SW 8<sup>th</sup> Court, and SW 4<sup>th</sup> Terrace, all minor collector roadways. The property is unimproved, flat, and irregularly shaped. An aerial of the subject property follows on the next page.

REMAINDER OF PAGE INTENTIONALLY LEFT BLANK

Figure 1: 2025 Aerial Map



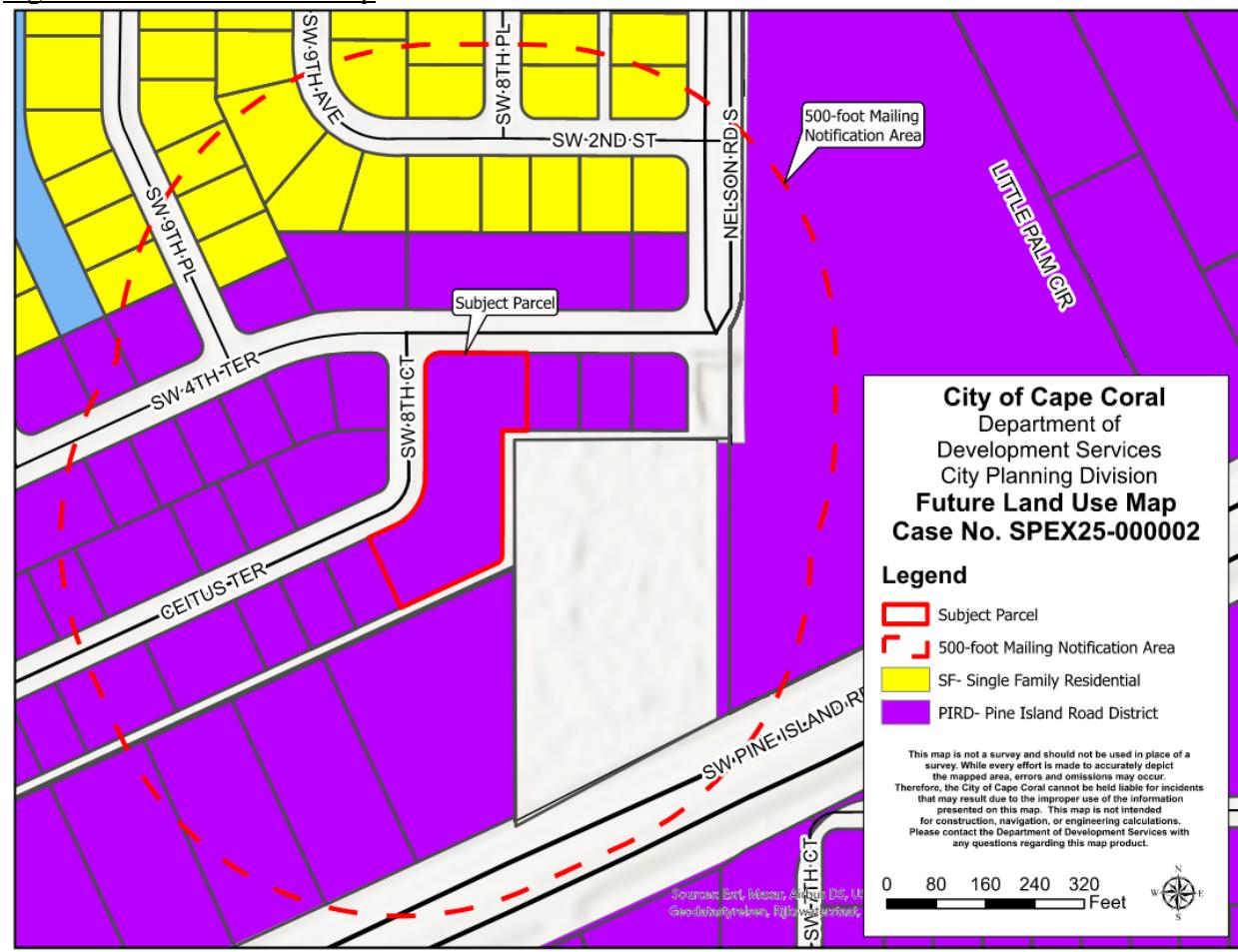
### Future Land Use and Zoning:

The subject property was originally zoned Multi-family Residential (R-3); the lot was then rezoned to the Residential Development District (RD) in 1990. In 2004 the property was rezoned to the Corridor District (CORR) coinciding with the adoption of the Pine Island Road Master Plan. The CORR zoning district was eliminated in 2019 and replaced with the Commercial Corridor district (CC).

The property was mapped with a Highway Commercial (HC) Future Land Use Classification (FLUC) upon the adoption of the Future Land Use map in 1989. The FLUC was then amended from HC to Pine Island Road District PIRD in 2002 via Ordinance 38-02.

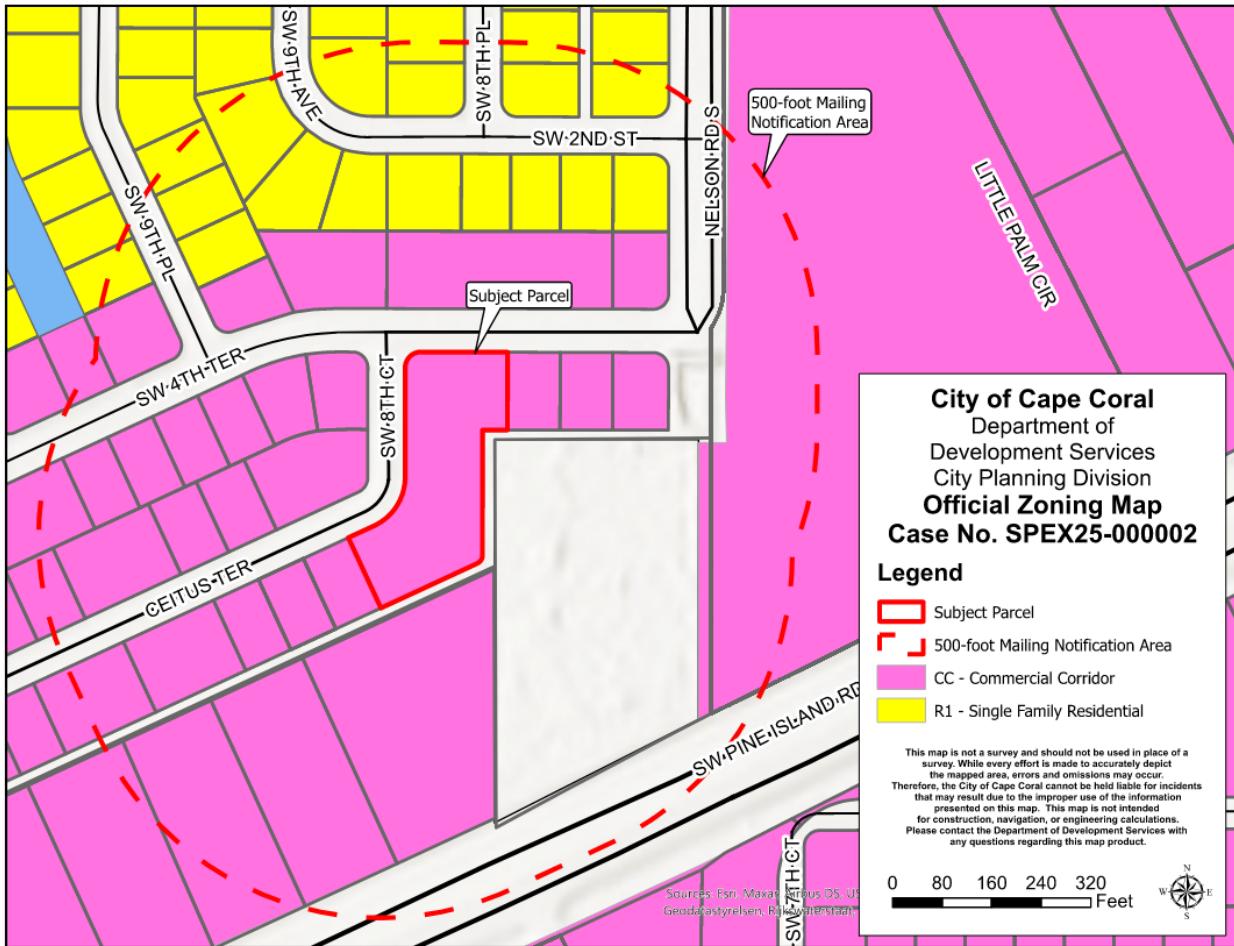
The majority of surrounding properties have a PIRD FLUC with two exceptions – a single tract remaining within the jurisdiction of Lee County to the southeast and a series of properties with a Single Family Residential (SF) FLUC located approximately 200 feet to the north of the subject property. Similarly, the zoning of the majority of parcels within the area is the CC District. An unincorporated Lee County parcel is located to the southeast, and several properties zoned Single Family Residential (R-1) are located approximately 200 feet to the north.

Figure 2: Future Land Use Map



REMAINDER OF PAGE INTENTIONALLY LEFT BLANK

Figure 3: Official Zoning Map



## Project Description:

The applicant seeks to construct and operate a trailer repair and sales facility which constitutes a vehicle repair, major use and requires special exception approval in the CC District. The City's Land Development Code (LDC), Article 11, defines the term "vehicle repair, major", as *an establishment that provides general repair, rebuilding, or reconditioning of engines, motor vehicles, or trailers, including body work, framework, welding, and major painting services. These establishments generally keep vehicles overnight or for a period exceeding two days.*

The applicant has provided a site plan for the proposed facility which is under review via a site development plan (SDP25-000022). Included within the proposal are two structures, a 4,500 sq.ft. trailer

repair facility and a 9,250 sq.ft. flex space building. Included within the SDP are related parking, landscaping, water management, and a screened storage area for repaired trailers.

#### **Analysis:**

The City Planning Division has reviewed this application based on LDC, Sections 3.4.4, and 5.12.1 that address special exception uses, and Section 4.2.11. that provides standards for the CC District. The Comprehensive Plan was also reviewed for applicable goals and policies,

##### *1) Consistency with the Comprehensive Plan:*

Vehicle repair, major uses are allowed as a special exception within the CC District. There are no minimum area requirements or special regulations that govern this use. The CC zoning of the subject site is consistent with the PIRD FLUC of the property as noted in Table 1 of Policy 1.15 of the Future Land Use Element.

The proposed use is consistent with those general uses that are identified in Policy 1.15.1. as being appropriate for the PIRD FLUC that include retail, office, office/warehouse, light manufacturing, institutional, multi-family residential, larger scale commercial retail, government, and public facilities.

*Policy 2.1: The City shall encourage commercial development where it can efficiently use infrastructure, where their adverse impacts on adjacent uses are minimized and where they will effectively provide the community with desired products, services and employment opportunities.*

The proposed development consists of a trailer repair and sales facility as well as a flex space building. These future non-residential uses will offer products, services, and employment opportunities. The facility is approximately 200feet from the nearest residential uses. Water, sewer, and irrigation are available to the property.

*Policy 3.5: The City will adhere to the Pine Island Road Corridor Master Plan to provide guidance, standards, and to direct growth and development along Pine Island Road Corridor.*

Development standards with the PIRD FLUC have been established in the City's Land Development Code. The proposed development will be designed to meet the development standards of the CC District.

*Policy 4.3: The City will continue to periodically review its Economic Development Master Plan to identify emerging trends and encourage large-scale commercial, professional and industrial types of development within the city.*

The city is deficient in non-residential lands. This development will add about 13,750 sq. ft. of commercial uses in an area that has adequate infrastructure to support it.

Policy 8.3: *Commercial developments shall be designed to minimize negative impacts on surrounding residential uses and the land development regulations shall provide for adequate buffering between commercial and residential uses.*

The site is immediately surrounded by parcels that have the same zoning and FLUC with the exception of a Lee County enclave located to the SE. The facility will be located about 200 feet from the nearest residential parcels. In accordance with the LDC, several provisions including landscape buffers, architectural standards, screening and lighting regulations will help mitigate the adverse impacts of commercial development.

2) *Suitability:*

*The site must be suitable for the type of special exception use proposed by virtue of its location, shape, topography, and the nature of surrounding development.*

The use is proposed on a 1.38-acre parcel with centralized water and sewer services. The property has multiple road frontages as previously described and has access to a rear alley. Consistent with the LDC, the applicant is improving the alley segment which abuts the subject property. Although the property is somewhat irregularly shaped, the engineer of record has designed a functional layout that complies with all LDC requirements. Surrounding properties immediately adjacent to the subject parcel are all unimproved and should not render the property unsuitable for the proposed use.

3) *Setbacks:*

*All buildings shall be setback an adequate distance from property lines and rights-of-way. Greater building setbacks may be required when deemed necessary to protect surrounding properties.*

Based on the site plan, the proposed buildings will meet or exceed the minimum setbacks of the CC District. Setbacks may be viewed on the attached Site Development Plan page 4 – Site Dimensional Plan.

4) *Impacts:*

*Potential adverse impacts to surrounding properties must be mitigated to the maximum extent possible.*

Impacts to the surrounding area should be minimal. None of the surrounding properties are presently improved. In the future, adjacent parcels having the same zoning and FLUC should develop with uses compatible with the subject use. A condition is proposed to limit where outdoor repairs can be conducted on the site to minimize potential noise impacts.

#### *Site aesthetics*

The applicant has Site Development Plan under review. In conjunction with the Site Development Plan, the applicant will be required to submit elevations for all four sides of the proposed buildings. The elevations will be required to comply with LDC, Section 5.8, “*Non-Residential Design Standards*”. These architectural standards are intended to ensure that new commercial buildings are visually attractive and thereby assist in fostering a positive City image, while also providing flexibility needed for modern and innovative design. The most recent draft of these is included for reference.

#### *Lighting*

Light emanating from a commercial business can potentially affect and disturb neighboring residential uses. A lighting plan has been submitted and is consistent with the LDC.

#### *Hours of Operation/Noise/Odors*

Vehicle repair, major is differentiated from vehicle repair, minor by the magnitude of the business operations permitted. The minor use does not allow for operations such as painting, framework, bodywork, and welding. These more intense repairs are restricted to vehicle repair, major uses. Another feature which differentiates minor from major repair uses is the estimated time a vehicle may be parked onsite, with minor uses expected to be less than two days.

Staff is recommending a condition to prohibit outdoor repairs on the property to minimize noise impacts. This condition will require all repairs to occur indoors. Additional conditions are proposed at the conclusion of this report to further minimize potential impacts.

#### *Fire*

The proposed site is located within Fire Zone 8. Minor impacts are expected due to the estimated 15 or less calls/year.

#### *Police*

The proposed site is located with the Southwest District, Zone 3. Anticipated impact is around a 1 to 2% increase in calls for service to the Zone and 1% or less City-wide. The department noted the following concerns:

1. Enhanced security measures may be necessary due to the overnight storage of vehicles and high-value assets, warranting increased patrols.
2. The movement of large trucks and trailers may obstruct narrow roads and intersections, potentially delaying patrol responses.
3. There is a heightened risk of traffic incidents involving trailers, which could lead to an increase in calls for service.

*Schools*

The proposed use is non-residential therefore no impacts on local schools are anticipated.

**Recommendation:**

The City Planning Division recommends **approval** of the request for a special exception with the following conditions:

1. The design of the site shall be consistent with the Site Development Plan provided by Boral Engineering & Design Inc. that bears a seal of October 23, 2025.
2. All vehicle repair operations are limited to the building identified on the SDP as Building A – Trailer Repair. The Vehicle repair, major use is prohibited in the building identified on the SDP as Building B – Flex Space.
3. Except for the loading and unloading of delivery vehicles, all trailer construction, demolition, or repair activities shall occur indoors in Building A. All outdoor repair work is prohibited.
4. All doors to Building A shall be closed at all times except to allow the loading and unloading of incoming or outgoing trailers or delivery vehicles.
5. Trailers for sale or customer pickup shall be located only within the trailer storage area and shall not be parked or stored in customer parking spaces.
6. Parking or storage or vehicles or trailers along any abutting street frontage is prohibited.
7. Except for completed trailers stored in the storage area, no outside storage of products, materials, or chemicals is allowed.
8. Space on the site may not be leased for trailer, vehicle, or boat storage.



DEPARTMENT OF DEVELOPMENT SERVICES  
CITY PLANNING DIVISION

For Internal Use Only

Case \_\_\_\_\_

Date \_\_\_\_\_

Tel. (239) 574-0553

Fax (239) 574-0591

P.O. Box 150027

Cape Coral, FL 33915-0027

## SPECIAL EXCEPTION APPLICATION

### **SPECIAL EXCEPTION REQUIREMENTS**

***\*It is required that applicant and/or representative attend the hearing examiner meeting\****

1.  **Letter of Intent stating the actual request.**

- This appeal for a Special Exception is for a proposed use. In the case of an existing structure, it is recommended that the applicant request a site-check by the Fire and/or Building Division for suitability and compliance with codes, prior to filing the appeal.

2.  **Applicant's portion of request shall be typewritten, and signature notarized.**

- All forms (Application, Acknowledgement Form, Authorization to Represent) MUST be signed by the property owner or the applicant. If the Authorized Representative is an attorney, the application and the Acknowledgement Form may be signed by the attorney and an Authorization to Represent Form is not required.
- If there are any deed restrictions on the property, a copy of the restrictions will be required.

3.  **Landscaping:**

- A continuous strip of landscaping shall be provided along all property lines and streets serving the development.
- Models. The models shall comply with the single-family landscaping requirements as indicated in Section 5.2.3.B.1.
- Identify method of irrigation and location of utility lines and easements.

4.  **Development plan drawn to scale (not less than 1" = 50') and containing the following:**

- Site layout showing dimensions, boundary lines, North directional arrow and complete legal description of the property.
- The location and dimensions of all existing and/or proposed buildings and structures, including additions and eaves, overhangs, porches and patios.
- The setback distance from all buildings, additions to structure to property lines. Indicate the square footage associated with each existing and proposed use of buildings.
- Location and dimensions of driveways. Show parking areas with layout and number of spaces and traffic flow.

5.  **Certified survey done within six (6) months MAY be required.**

6.  **Projected number of peak hour trips. If more than 300 peak hour trips are projected, a traffic impact study must be submitted.**



DEPARTMENT OF DEVELOPMENT SERVICES  
CITY PLANNING DIVISION

Tel. (239) 574-0553  
Fax (239) 574-0591  
P.O. Box 150027  
Cape Coral, FL 33915-0027

**FEE: \$833.00 first 3 acres plus \$220.00 each additional acre over 3 up to 20 acres; \$22.00 per acre over the first 20 acres. In addition to the application fee, all required advertising costs are to be paid by the applicant (ORD 39-03, Sec. 5.4). Advertising fees will be billed and must be paid prior to hearing.**

**NOTE TO APPLICANT**

Following the approval of your request, the applicant shall be responsible for paying the City to electronically record the final signed Resolution or Ordinance with the Lee County Clerk of Court. Until this fee is paid, restrictions on the issuance of any City permits will remain on the affected property that will prevent the city from issuing any applicable building permits, site plans, certificates of use, or certificates of occupancy for any property covered by the Resolution or Ordinance.



DEPARTMENT OF DEVELOPMENT SERVICES  
CITY PLANNING DIVISION

Tel. (239) 574-0553  
Fax (239) 574-0591  
P.O. Box 150027  
Cape Coral, FL 33915-0027

**SPECIAL EXCEPTION APPLICATION**

**PROPERTY INFORMATION**

Owners (Business Name) Name: John J. Blanchette / Crakat Industries Inc.

Location/Address 822/826 Ceitus Terrace and 816 SW 2nd Terrace, Cape Coral, FL 33991

Strap Number 15-44-23-C2-03619.0300; .0360 Unit 49 Block 3619 Lot(s) 30-39

Plat Book 17 Page 154 Future Land Use PIRD Current Zoning CC

**PROPERTY OWNER (S) INFORMATION**

Owner John J. Blanchette Address 2803 SW 33rd Street

Phone 239-243-4887 City Cape Coral

Email JohnJRocketman@yahoo.com State FL Zip 33991

Owner \_\_\_\_\_ Address \_\_\_\_\_

Phone \_\_\_\_\_ City \_\_\_\_\_

Email \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

**APPLICANT INFORMATION (If different from owner)**

Applicant \_\_\_\_\_ Address \_\_\_\_\_

Phone \_\_\_\_\_ City \_\_\_\_\_

Email \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

**AUTHORIZED REPRESENTATIVE INFORMATION (If Applicable)**

Representative Boral Engineering & Design Inc. Address 711 5th Ave S, Suite 209

Phone 239-200-5512 City Naples

Email Javier@Boralengineering.com State FL Zip 34102



DEPARTMENT OF DEVELOPMENT SERVICES  
CITY PLANNING DIVISION

Tel. (239) 574-0553  
Fax (239) 574-0591  
P.O. Box 150027  
Cape Coral, FL 33915-0027

If the owner does not own the property in his/her personal name, the owner must sign all applicable forms in his/her corporate capacity.

**(ALL SIGNATURE MUST BE NOTARIZED)**

The owner of this property, or the applicant agrees to conform to all applicable laws of the City of Cape Coral and to all applicable Federal, State, and County laws and certifies that all information supplied is correct to the best of their knowledge.

CRAKAT INDUSTRIES INC.

CORPORATION/COMPANY NAME (IF APPLICABLE)

JOHN J. BLANCHETTE  
OWNER'S NAME (TYPE OR PRINT)

  
OWNER'S SIGNATURE

OWNER'S NAME (TYPE OR PRINT)

OWNER'S SIGNATURE

APPLICANT NAME (TYPE OR PRINT)

APPLICANT SIGNATURE

I have read and understand the above instructions. Hearing date(s) will be confirmed when I receive a copy of the Notice of Public Hearing stipulating the day and time of any applicable hearings.

STATE OF Florida  
COUNTY OF Lee

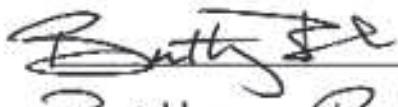
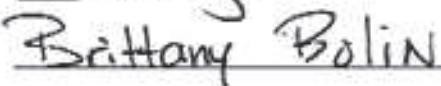
Sworn to (or affirmed) and subscribe before me, by means of  physical presence or  online notarization, this 19th day of March, 2025 by John J. Blanchette who is personally known to me or produced FL DL as identification.



Brittany Bolin  
Comm.: HH 634024  
Expires: Jan. 30, 2029  
Notary Public - State of Florida

Exp Date: 1/30/2029 Commission Number: HH 634024

Signature of notary Public:

Printed Name of Notary Public:



DEPARTMENT OF DEVELOPMENT SERVICES  
CITY PLANNING DIVISION

Tel. (239) 574-0553  
Fax (239) 574-0591  
P.O. Box 150027  
Cape Coral, FL 33915-0027

**AUTHORIZATION TO REPRESENT PROPERTY OWNER(S)**

PLEASE BE ADVISED THAT ANDRES BORAL, PE, MBA/ BORAL ENGINEERING & DESIGN INC  
(Name of person giving presentation)

IS AUTHORIZED TO REPRESENT ME IN THE REQUEST BEFORE THE HEARING EXAMINER  
AND CITY COUNCIL.

UNIT 49 BLOCK 3619 LOT(S) 30-39 SUBDIVISION N/A

OR LEGAL DESCRIPTION CAPE CORAL UNIT 49, BLK 3619, PB 17 PG 154, LOTS 30-39

LOCATED IN THE CITY OF CAPE CORAL, COUNTY OF LEE, FLORIDA.

John J. Blanchette  
PROPERTY OWNER (Please Print)

John J. Blanchette, President  
PROPERTY OWNER (Signature & title)

PROPERTY OWNER (Please Print)

PROPERTY OWNER (Signature & title)

STATE OF Florida

COUNTY OF Lee

Sworn to (or affirmed) and subscribe before me, by means of  physical presence or  online notarization, this 19<sup>th</sup> day of March, 2025 by John J. Blanchette who is personally known to me or produced FL DL as identification.



Brittany Bolin Exp Date: 1/30/2029 Commission Number: HH 634024  
Comm.: HH 634024  
Expires: Jan. 30, 2029  
Notary Public - State of Florida

Signature of notary Public:

Brittany Bolin

Note: Please list all owners. If a corporation, please supply the City Planning Division with a copy of corporation papers.



DEPARTMENT OF DEVELOPMENT SERVICES  
CITY PLANNING DIVISION

Tel. (239) 574-0553  
Fax (239) 574-0591  
P.O. Box 150027  
Cape Coral, FL 33915-0027

DOCUMENTARY EVIDENCE (LDC, Section 3.1.11F.6)

A copy of all documentary evidence shall be made available to the decision-making body or the Hearing Examiner and to staff no later than three business days prior to the hearing of the application. This requirement includes information that the applicant intends to present at public hearing.

I have read the above requirement and agree to comply with this provision.

John J. Blanchette

OWNER/APPLICANT

(PLEASE TYPE OR PRINT)

OWNER/APPLICANT SIGNATURE

(SIGNATURE MUST BE NOTARIZED)

STATE OF Florida

COUNTY OF Lee

Sworn to (or affirmed) and subscribe before me, by means of  physical presence or  online notarization, this 19<sup>th</sup> day of March, 2025 by John J. Blanchette who is personally known to me or produced FL DL as identification.



Brittany Bolin  
Comm.: HH 634024  
Expires: Jan. 30, 2029  
Notary Public - State of Florida

Exp Date: 1/30/2029 Commission Number: HH 634024

Signature of Notary Public:

Printed Name of Notary Public:

Brittany Bolin



### **SPECIAL EXCEPTION REGULATIONS**

#### Section 3.4.4. Special Exceptions.

The intent of this section is to permit Special Exception uses which are essential to, or would promote the public health, safety, or welfare in one or more zoning districts, but which might impair the integrity and character of the zoning district or in adjoining districts, such that restrictions or conditions on location, size, extent, and character of performance may be imposed in addition to those standards already imposed in the Land Development Code.

#### A. General.

1. No variances shall be granted that would reduce or eliminate minimum requirements for special exception uses.
2. The Hearing Examiner may prescribe appropriate conditions and safeguards in conformity with 1752 the special exception use requirements. All such conditions shall be part of the terms under 1753 which the special exception is granted.
3. A special exception shall be deemed abandoned if:
  - a. The use is discontinued for more than 1 year; or
  - b. The special exception has not obtained a certificate of zoning compliance.
4. The proposed use shall comply with all requirements of the underlying zoning district(s), the Land Development Code, and all other applicable law.

#### B. Standards and Criteria. The following standards shall apply to all applications for special exception uses.

1. Consistency with the Comprehensive Plan?
2. The site must be suitable for the type of special exception use proposed by virtue of its location, shape, topography, and the nature of surrounding development.
3. All buildings shall be setback an adequate distance from property lines and rights-of-way. Greater building setbacks may be required when deemed necessary to protect surrounding properties.
4. Potential adverse impact to surrounding property must be mitigated to the maximum extent possible.



### Site Development Letter of Intent

April 14, 2025

Development Services  
1015 Cultural Park Boulevard  
Cape Coral, Florida 33990

PROJECT: **822 / 826 CEITUS TERRACE & 816 SW 2<sup>ND</sup> TERRACE  
TRAILER REPAIR & WAREHOUSES**

Dear Mr. Grambow:

It is the intent of our client, Crakat Industries Inc, to request a Site Plan Permit and Special Exception for the site development of a Trailer Repair & Multi-use Warehouse facility, along with associated site improvements such as, but not limited to; paved parking, site landscaping, utility connections, offsite improvements and a solid waste enclosure. The property comprises 1.38 acres, located at 822/826 Ceitus Terrace and 816 SW 2<sup>nd</sup> Terrace, Cape Coral, Florida. The subject parcels are within Unit 49, Block 3619, Lots 30-39. The subject parcels are Zoned (CC) and have a Future Land Use designation of (PIRD).

The adjacent properties have the following Future Land Use and Zoning designations:

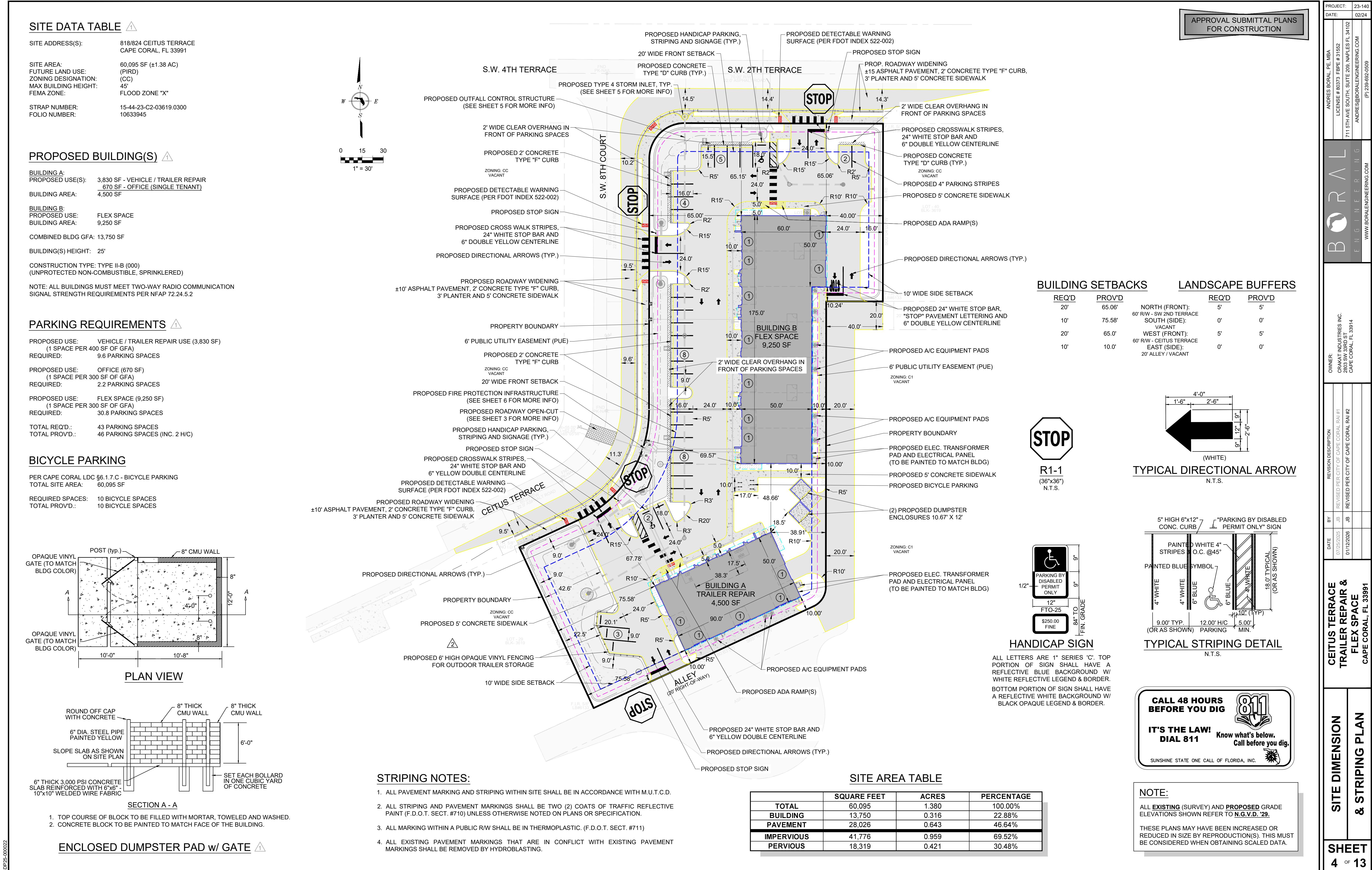
	<u>FLU</u>	<u>ZONING</u>
NORTH	PIRD	CC
EAST	PIRD	CC
SOUTH	PIRD	CC
WEST	PIRD	CC

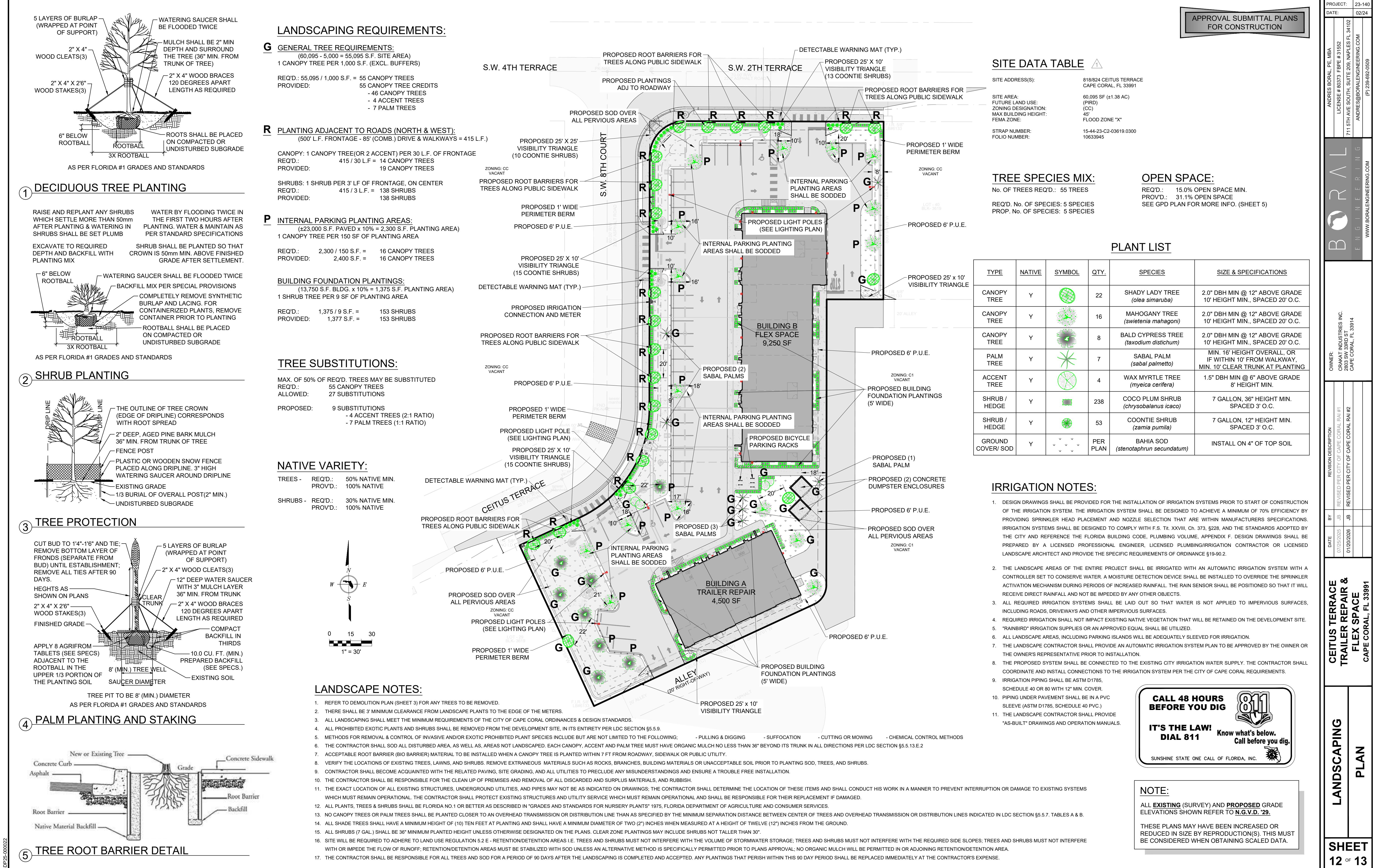
Sincerely,

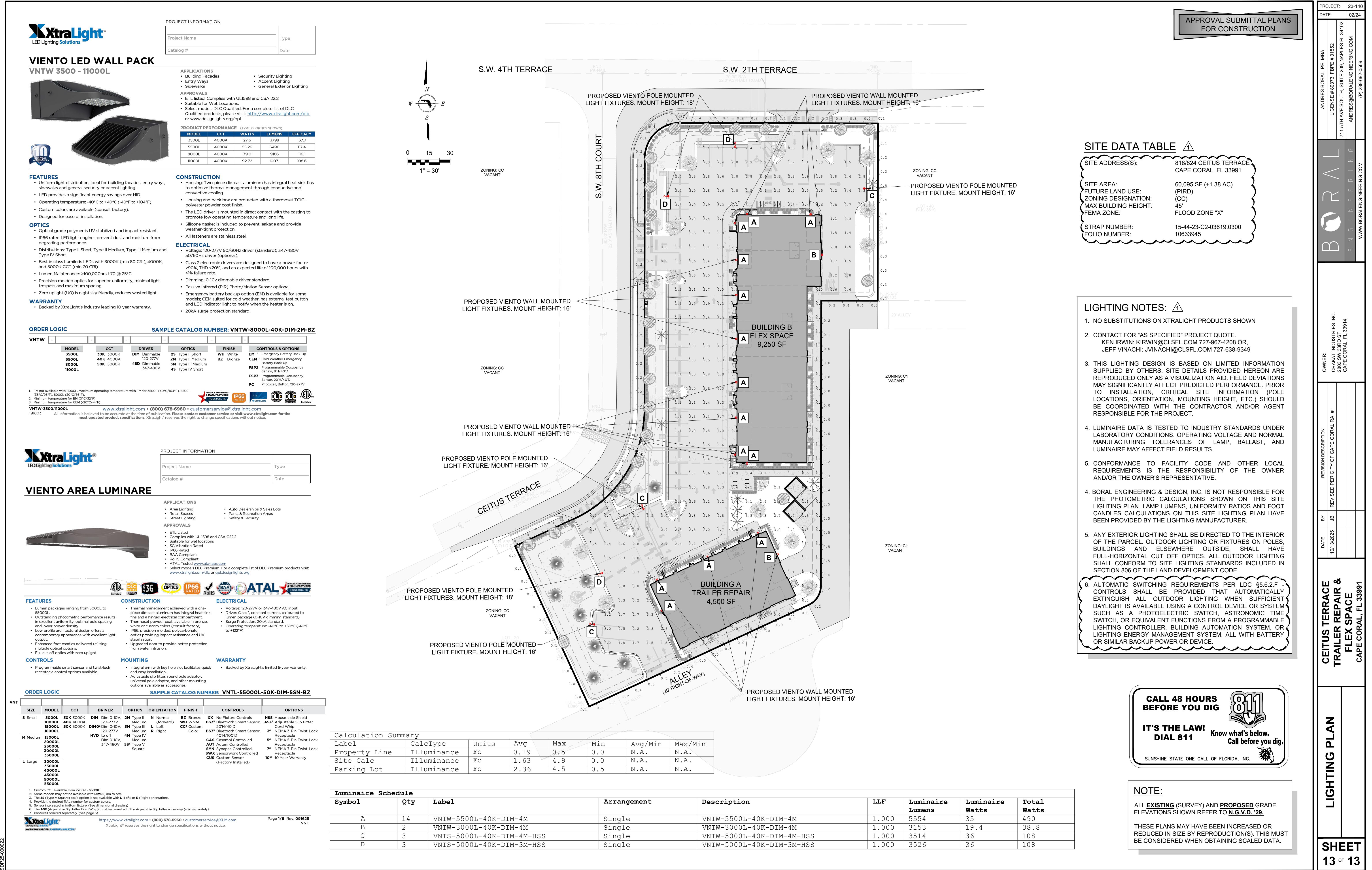
**Boral Engineering & Design, Inc.**

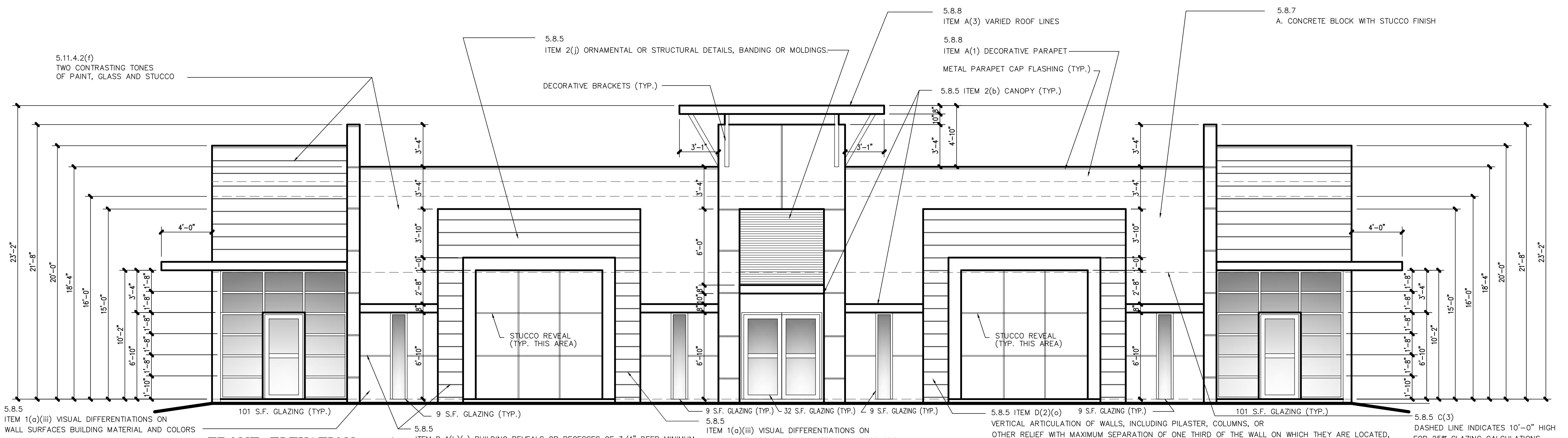
Andres Boral, P.E.  
Florida License Number: 80373











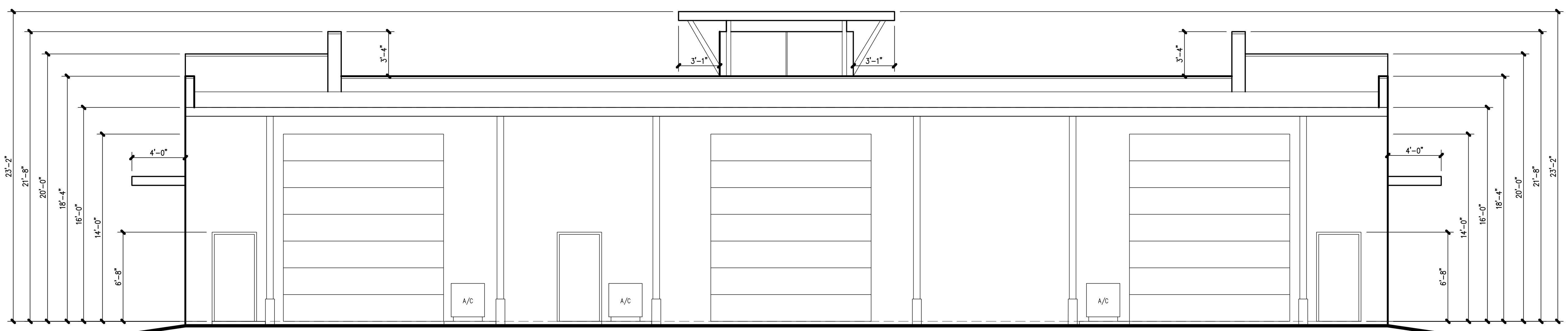
1/4" = 1'-0"  
 101 S.F. GLAZING X 2 = 202 S.F.  
 34 S.F. GLAZING X 1 = 32 S.F.  
 9 S.F. GLAZING X 4 = 36 S.F.  
 S.F. GLAZING 270 S.F.

900 S.F. TOTAL SURFACE  
 900 X 25% = 225 S.F. REQ. (270 S.F.-30% PROVIDED)

REPRODUCTION OR TRANSLATION ANY PART OF THE  
 ABOVE DRAWINGS, WHETHER BEING THE ENTIRE DRAWING OR A PORTION  
 THEREOF, IS PROHIBITED UNLESS THE WRITTEN CONSENT  
 OF THE COPYRIGHT OWNER IS OBTAINED.  
 GULFCOAST ENGINEERING, LLC  
 3002 Del Prado Boulevard South Cape Coral, Florida 33904  
 (239) 458-6826  
 Copyright © 2014 by GulfCoast Engineering, LLC

CONTACT: Gustavo A. Roman  
 PROJECT MANAGER: (239) 677-5778  
 e-mail: gustavoroman@yahoo.com  
 CONTRACTOR/Developer: G.E.C.  
 PROJ. No: 04-15-24  
 FILE: Auburon Office Rev Bdg  
 DRAWN: G.A.R.  
 CHECKED:  
 DATE: 06-15-24  
 DATE REV'D:

GulfCoast Engineering, LLC  
 3002 Del Prado Boulevard South Cape Coral, Florida 33904  
 (239) 458-6826  
 e-mail: www.gecfl.com



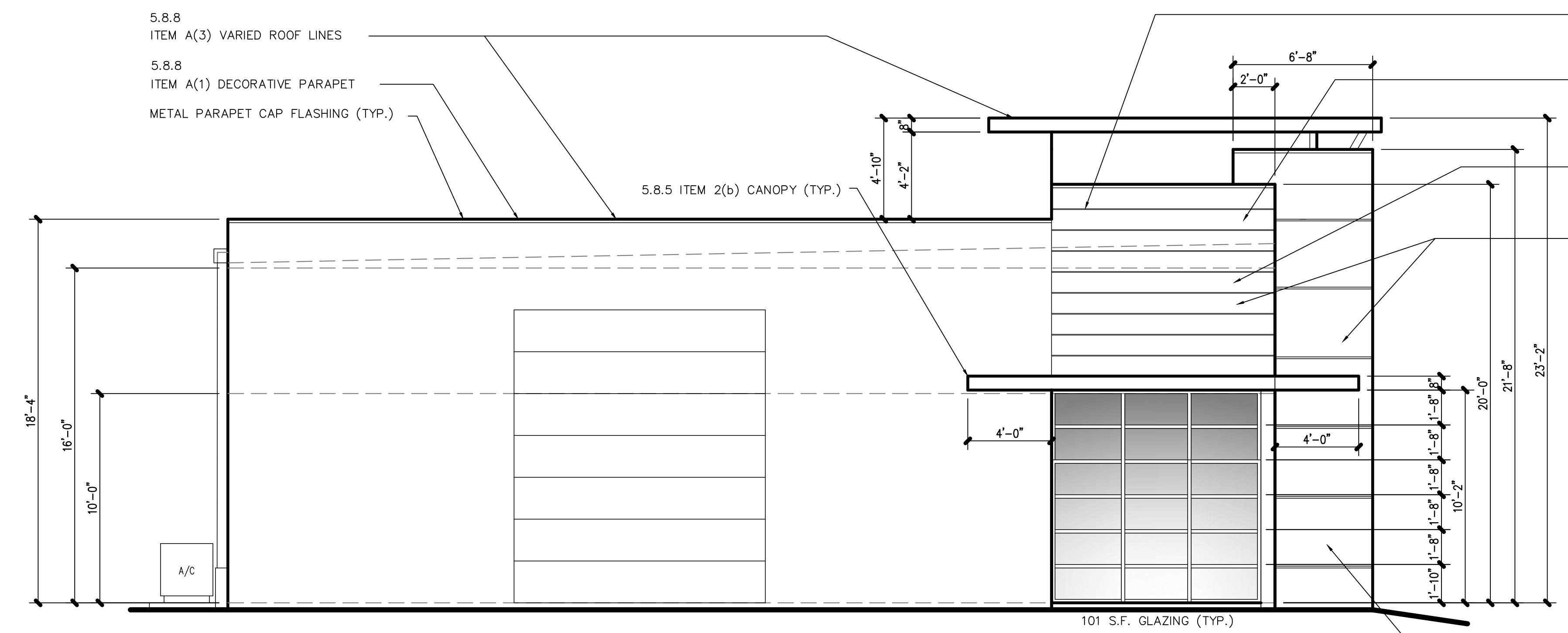
REAR ELEVATION - C

1/4" = 1'-0"

ENGINEER SEAL

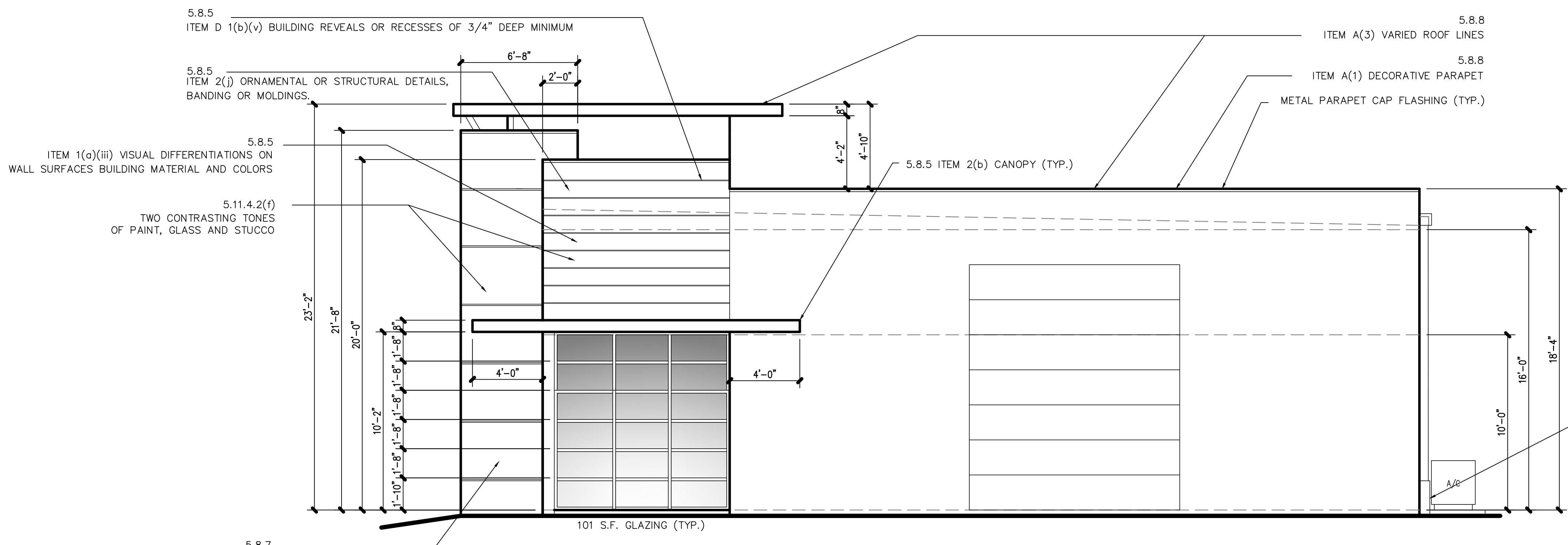
PROJECT: Crikat Inc. - Building 2  
 822/826 Ceilus Terrace  
 Cape Coral  
 FLORIDA  
 BRIAN L. CHANDLER  
 LICENSE NO. 77252  
 C.O.A. NO. 9310  
 Auburon-Ceilus Flex. Bdg  
 A-6  
 06 OF 11

DO NOT SCALE DRAWINGS, USE GIVEN DIMENSION REPORT.  
 ANY DISCREPANCIES ON THE DOCUMENTS REPORT TO THE ENGINEER OF RECORD OR  
 CONSTRUCTION SUPERINTENDENT ON WRITING BEFORE PROCEEDING WITH ANY WORK.  
 IF CONTRACTOR FAILS TO REPORT, ENGINEER OF RECORD AND DESIGNER  
 WILL BE RELEASE OF ANY COMPLAINT AND OWNER OR CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.  
 THESE PLANS ARE IN COMPLIANCE WITH THE LATEST FLORIDA BUILDING CODE EDITION



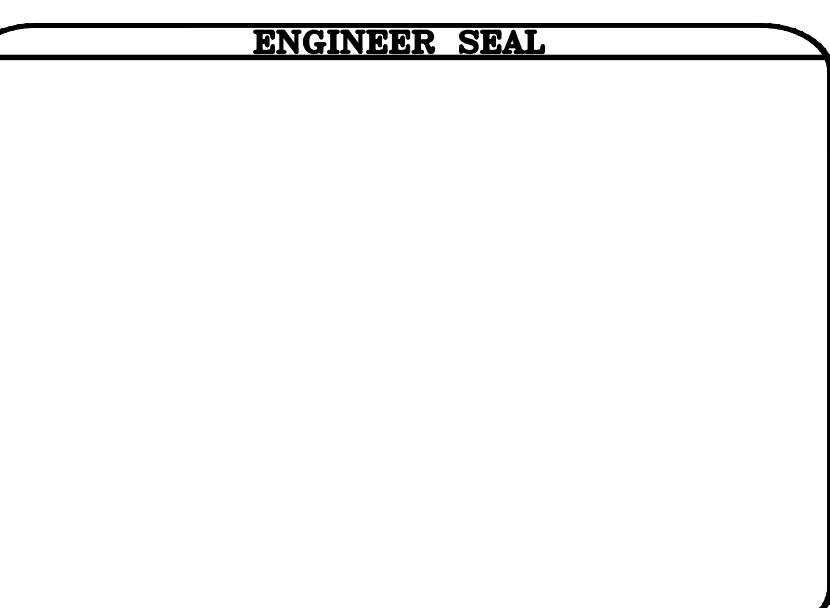
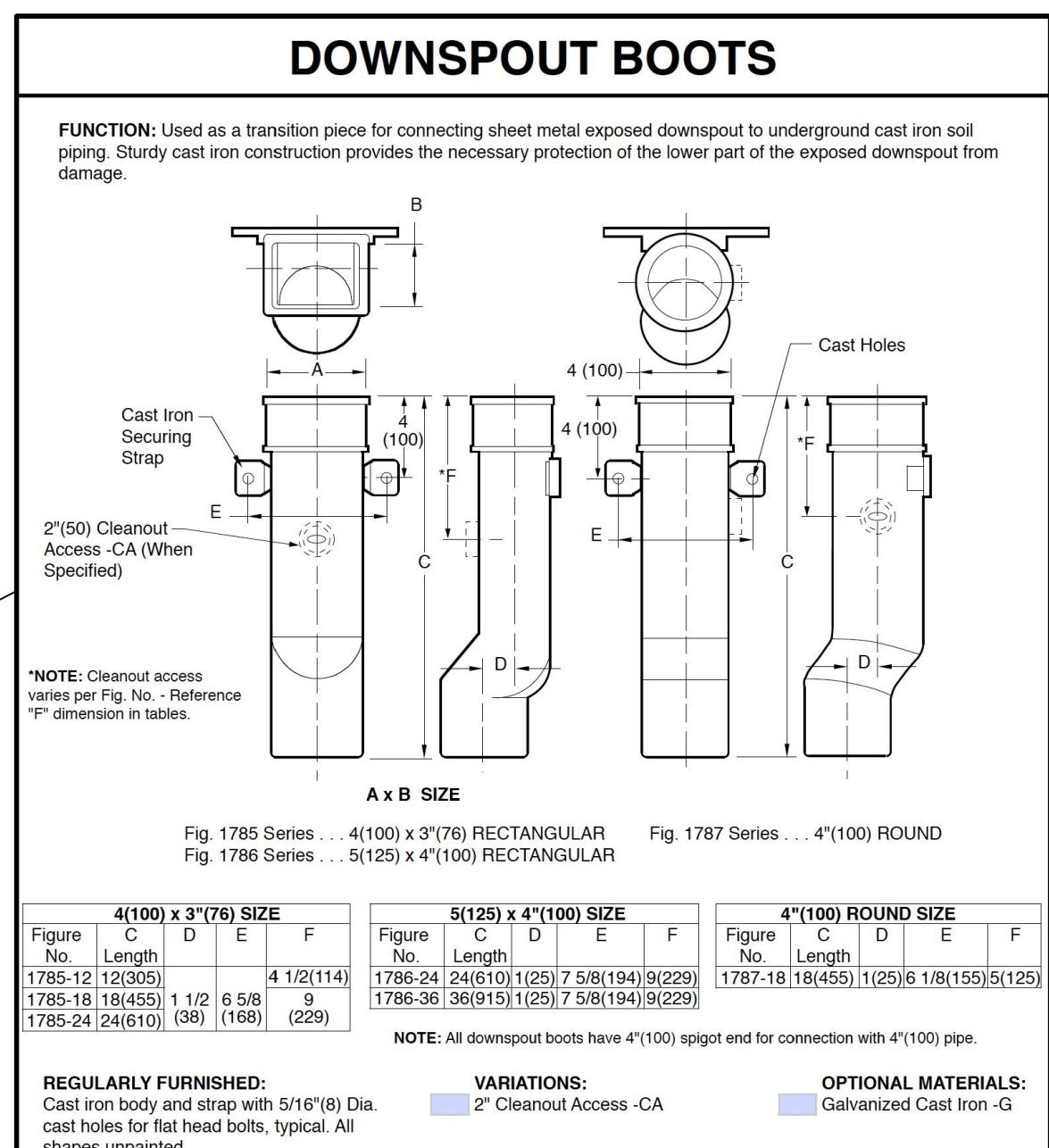
**LEFT ELEVATION - B**

1/4" = 1'-0"



**RIGHT ELEVATION - D**

1/4" = 1'-0"



5.8.5 C(3)  
DASHED LINE INDICATES 10'-0" HIGH  
FOR 15% GLAZING CALCULATIONS  
101 S.F. GLAZING X 1 = 101 S.F.  
500 S.F. TOTAL SURFACE  
500 X 15% = 75 S.F. REQ. (101 S.F.-20% PROVIDED)

DO NOT SCALE DRAWINGS, USE GIVEN DIMENSION REPORT.  
ANY DISCREPANCIES ON THE DOCUMENTS REPORT TO THE ENGINEER OF RECORD OR  
CONSTRUCTION SUPERINTENDENT ON WRITING BEFORE PROCEEDING WITH ANY WORK.  
IF CONTRACTOR FAILS TO REPORT, ENGINEER OF RECORD AND DESIGNER  
WILL BE RELEASE OF ANY COMPLAINT AND OWNER OR CONTRACTOR WILL ASSUME FULL RESPONSIBILITY  
THESE PLANS ARE IN COMPLIANCE WITH THE LATEST FLORIDA BUILDING CODE EDITION

REPRODUCTION OR TRANSLATION ANY PART OF THE  
SPECIFICATIONS, DRAWINGS, OR OTHER INFORMATION  
SHOWN HEREIN IS PROHIBITED UNLESS EXPRESSLY  
STATED IN THE CONTRACT DOCUMENTS.  
THE CONTRACT DOCUMENTS ARE THE PROPERTY OF  
THE CONTRACTOR. OWNER OR CONTRACTOR  
SHALL NOT REPRODUCE OR TRANSLATE  
THESE DOCUMENTS OR PARTS THEREOF.  
REPRODUCTION OR TRANSLATION  
BY CONTRACTOR IS PROHIBITED.  
Copyright © 2014 by GCR Inc. All rights reserved.

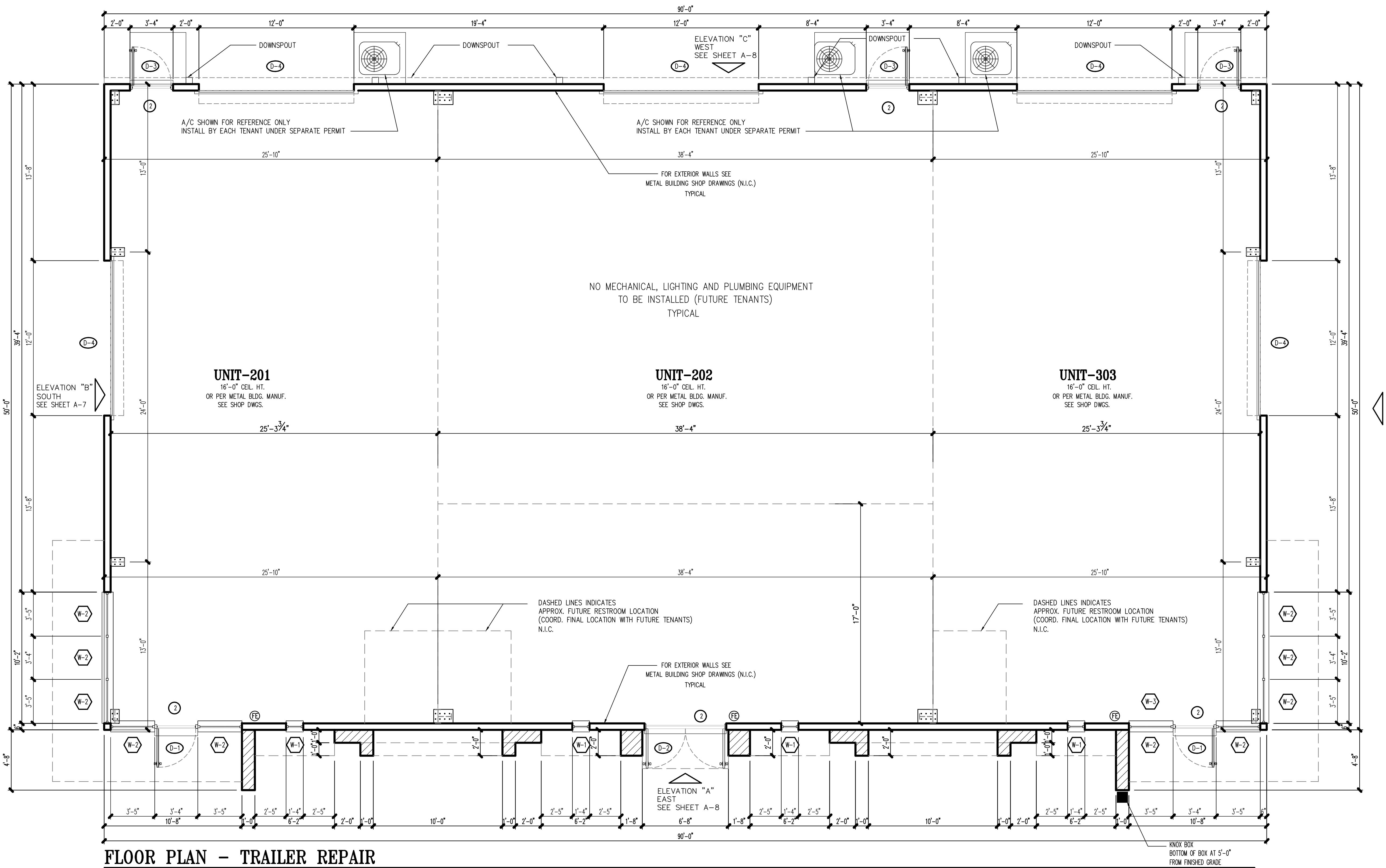
CONTACT: Gustavo A. Roman  
PROJECT MANAGER: (239) 677-5778  
e-mail: gustavoroman@yahoo.com  
CONTRACTOR/Developer: GCR Inc.  
CONTRACTOR/Developer: GCR Inc.

PROJ. No: 04-15-24  
FILE: Auburon-Ceilus Flex Bidg  
DRAWN: G.A.R.  
CHECKED:    
DATE: 06-15-24  
REVISIONS:    
DATE REV'D:  

**GulfCoast Engineering, LLC**  
3002 Del Prado Boulevard South Cape Coral, Florida 33904  
e-mail: www.gcefl.com

A/E   SEAL  
BRIAN L. CHANDLER  
LICENCE NO. 77252  
CO.A. NO. 9310

FLORIDA  
PROJECT: Crikat Inc. - Building 2  
822/826 Ceilus Terrace  
Cape Coral



# FLOOR PLAN – TRAILER REPAIR

- SEE DOORS SPECIFICATIONS FOR ADDITIONAL INFORMATION
- CONTRACTOR SHALL COORDINATE ALL DOOR SIZES PRIOR TO FABRICATION (FIELD VERIFY)
- FOR DOORS AND WINDOWS CONNECTIONS SEE METAL BUILDING SHOP DRAWINGS
- ALL SHOWN DIMENSIONS ARE APPROXIMATE
- DOOR SWING MAY VARY, SEE FLOOR PLAN FOR ORIENTATION

DOOR OPENING FORCE. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS (22N). THESE FORCE DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION. FOR OTHER SWINGING DOORS AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECT TO A 15 POUND (67N) FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECT TO A 30 POUND (133N) FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECT TO A 15 POUND (67N) FORCE.

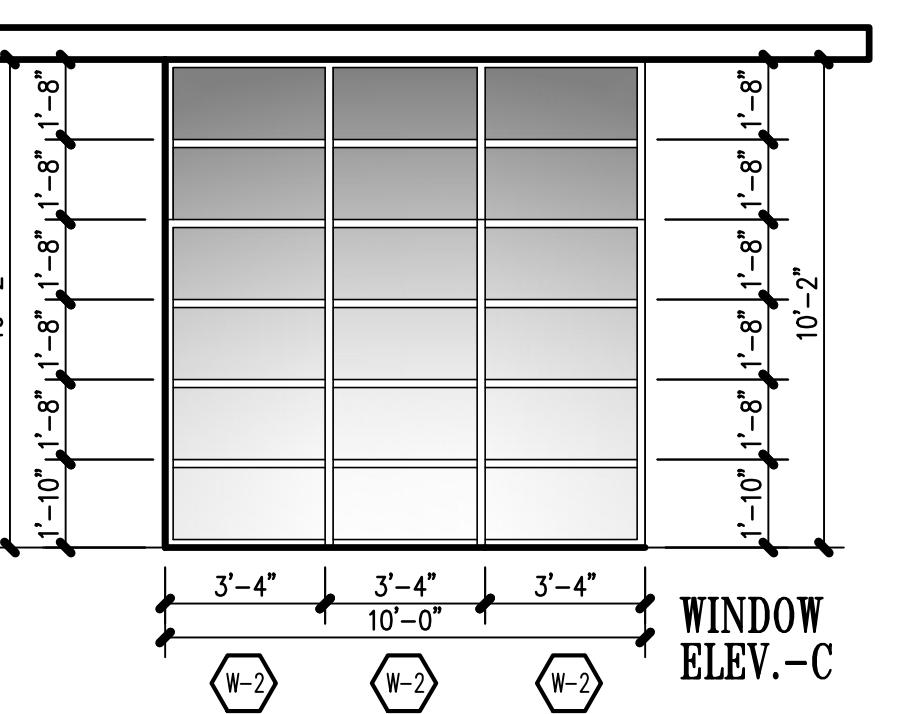
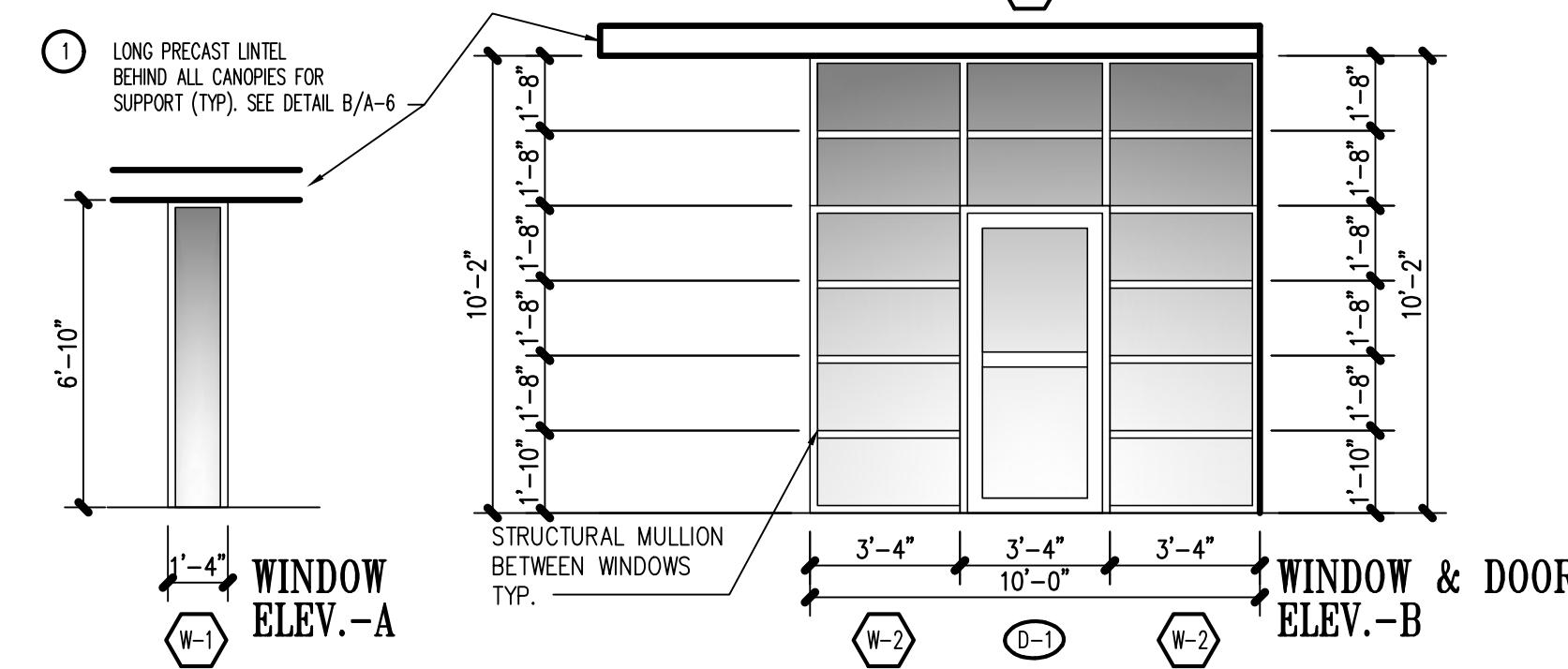
6" 18 GA. MIN. METAL STUDS AT 12" O.C. MAX  
FASTENED TO METAL BUILDING MAIN FRAME  
SEE METAL BUILDING SHOP SHEET FOR DETAILS

⑤ SEMI-RECESSED OR WALL MOUNT FIRE EXTINGUISHER  
(A-100C). SEE DET. A-4 (LM-2).

(2A-10BC)-SEE DET. A/A-4 (U.N.O.)

3. FIRE RATED DOOR HARDWARE:  
BRAND: HARNEY HARDWARE  
MODEL: COMMERCIAL DOOR LEVER SET—VIGILANT COLLECTION  
FINISH: SATIN NICKEL  
MODEL NO.: SAT STYLE HANDLE  
MODEL NO.: SAT STYLE HANDLE  
FIRE RATED: UL10C 3 HOUR FIRE RATED.

$$1/4" = 1' - 0"$$



---

## NOTES

**NOTES**

CONTRACTOR SHALL COORDINATE ALL OPENINGS WITH SELECTED WINDOWS AND DOORS MANUF.

-ALL WOOD IN CONTACT WITH CONCRETE OR METAL SHALL BE PRESSURE TREATED WOOD.

-ALARM SYSTEM (OPTIONAL-CONTRACTOR SHALL PROVIDE ALLOWANCE)

-ALL LIGHT FIXTURES AND DOOR HARDWARE SELECTED BY OWNER (CONTRACTOR SHALL PROVIDE ALLOWANCE)

-ALL WINDOW BUCKS SHALL BE 1x4 P.T. WOOD

-PRECAST Lintel OVER EXTERIOR DOORS AND WINDOWS AS NEEDED-FIELD VERIFY (8F8-1B)-SEE STRUCT. DWG

-PROVIDE 2x4 BACKING SUPPORT FOR ALL HANDICAP GRAB BAR OR AS NEEDED.

THE FOLLOWING ITEMS ARE NOT GULFCOAST ENGINEERING, LLC RESPONSIBILITY:

SURVEY

BORING OR SOIL REPORTS

SEPTIC TANK SYSTEM AND DRAIN FIELD STUDIES

TRUSS DRAWINGS AND TPI'S

ENERGY CALCULATIONS

-IS CONTRACTORS RESPONSIBILITY TO REVIEW ALL DRAWINGS AND CONFIRM ALL SHOWN DETAILS ARE PER OWNER REQUEST PRIOR TO CONSTRUCTION

-IF OWNER OR CONTRACTOR FAILS TO REPORT ANY DISCREPANCY ON THE DRAWINGS OR DESIGN, DESIGNER AND ENGINEER OF RECORD WILL BE RELEASE FROM ANY COMPLAINT AND CONTRACTOR OR OWNER WILL ASSUME FULL RESPONSIBILITY

DO NOT SCALE DRAWINGS, USE GIVEN DIMENSION REPORT.  
ANY DISCREPANCIES ON THE DOCUMENTS REPORT TO THE ENGINEER OF RECORD OR  
INSTRUCTION SUPERINTENDENT ON WRITING BEFORE PROCEEDING WITH ANY WORK,  
CONTRACTOR FAILS TO REPORT, ENGINEER OF RECORD AND DESIGNER  
WILL BE RELEASED OF ANY COMPLAINT AND OWNER OR CONTRACTOR WILL ASSUME FULL RESPONSIBILITY  
THESE PLANS ARE IN COMPLIANCE WITH THE LATEST FLORIDA BUILDING CODE EDITION

Inc. - Building 2  
26 Ceitus Terrace

A—

04 OF

**GulfCoast Engineering, LLC**

SEAL

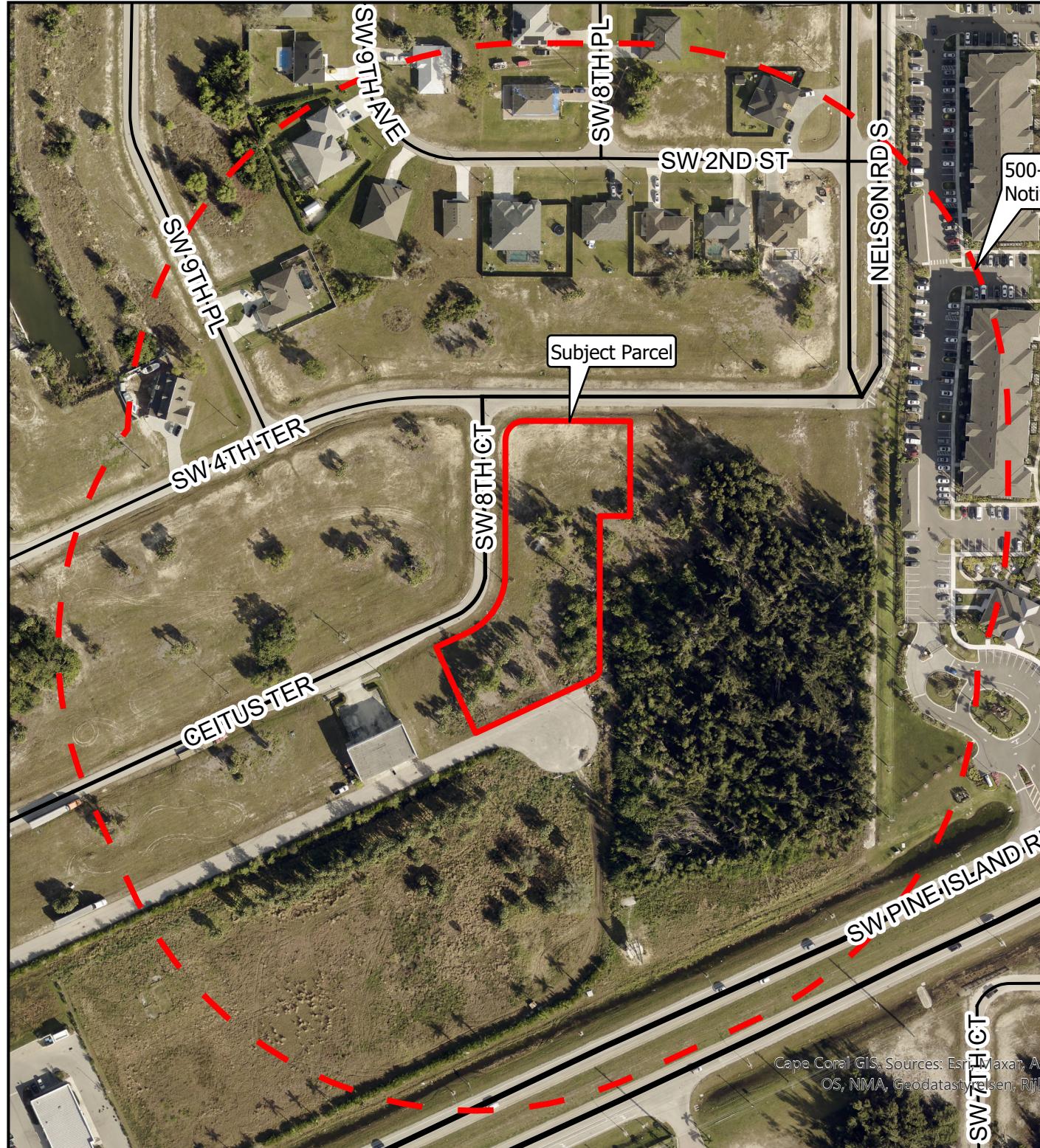
1

Inc. - Building 2  
Ceitus Terrace

uchon—Ceitua  
A—  
04 OF

04 OF





Cape Coral GIS, Sources: Esri, Maxar, Air  
OS, NIMA, Geodatasy, Eelsen, Rijk

**City of Cape Coral**  
Department of  
Development Services  
City Planning Division  
**Official Site Aerial Map**  
**Case No. SPEX25-000002**

**Legend**

Subject Parcel

500-foot Mailing Notification Area

This map is not a survey and should not be used in place of a survey. While every effort is made to accurately depict the mapped area, errors and omissions may occur. Therefore, the City of Cape Coral cannot be held liable for incidents that may result due to the improper use of the information presented on this map. This map is not intended for construction, navigation, or engineering calculations. Please contact the Department of Development Services with any questions regarding this map product.

0 80 160 240 320  
Feet



