

Planning Division Case Report
SPEX25-000002

Review Date: January 22, 2025

Property Owner: John Blanchette for Crakat Industries Inc.

Representative: Boral Engineering & Design Inc.

Request: The applicant is requesting a special exception use to construct and operate a vehicle repair, major use for a trailer repair and multi-use warehouse.

Location: 818/824 Ceitus Terrace
Cape Coral, FL 33991
15-44-23-C2-03619.0300

Prepared By: Patrick Carlton White, AICP, Senior Planner

Approved By: Mike Struve, AICP, Planning Team Coordinator

Recommendation: **Approval with conditions**

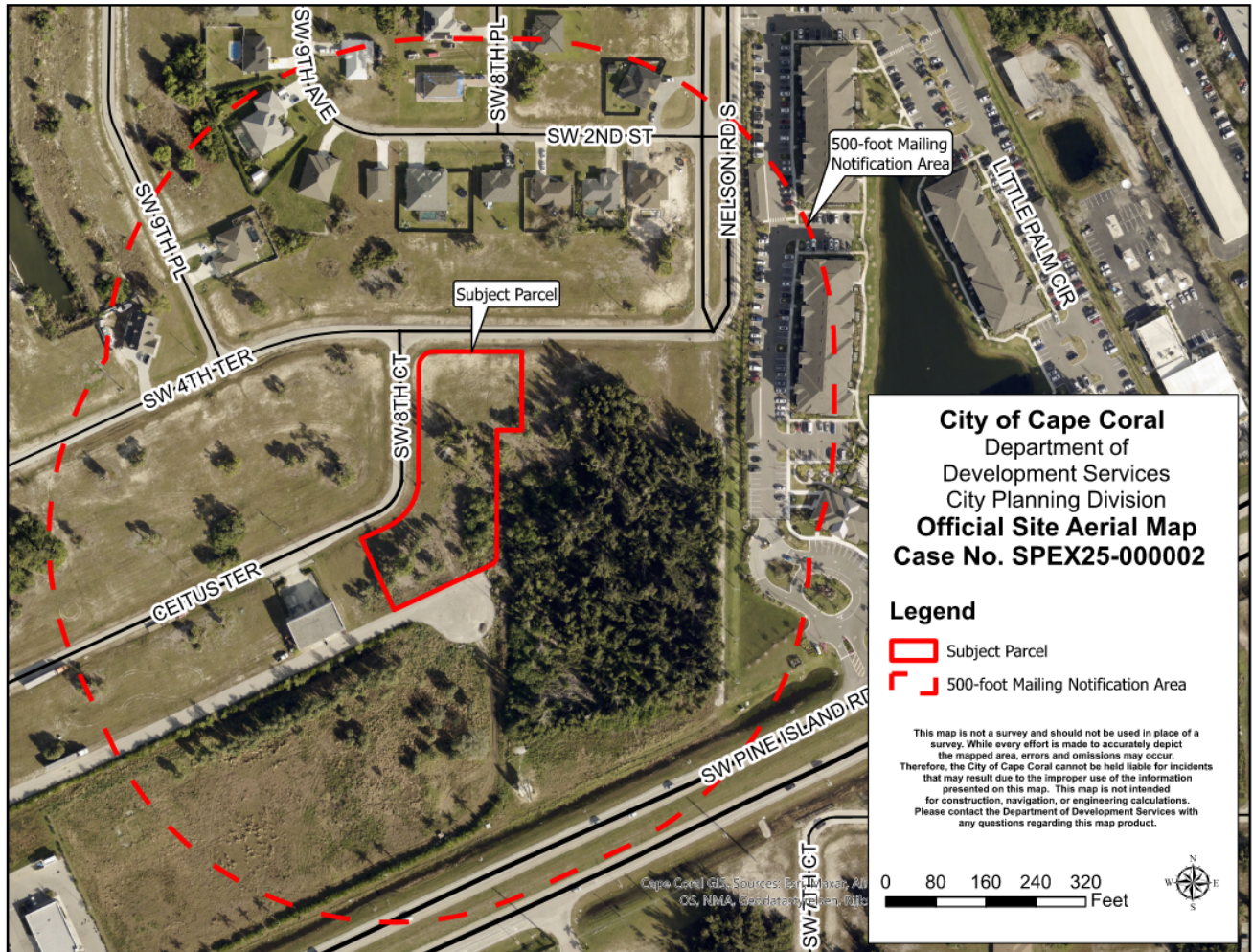
Urban Service Area: Transition

Property Description:

The subject property consists of a 1.38 acre parcel located approximately 0.06 miles west of the intersection of Nelson Road and SW 4th Terrace, north of Pine Island Road. The property has road frontage on Ceitus Terrace, SW 8th Court, and SW 4th Terrace, all minor collector roadways. The property is unimproved, flat, and irregularly shaped. An aerial of the subject property follows on the next page.

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Figure 1: 2025 Aerial Map



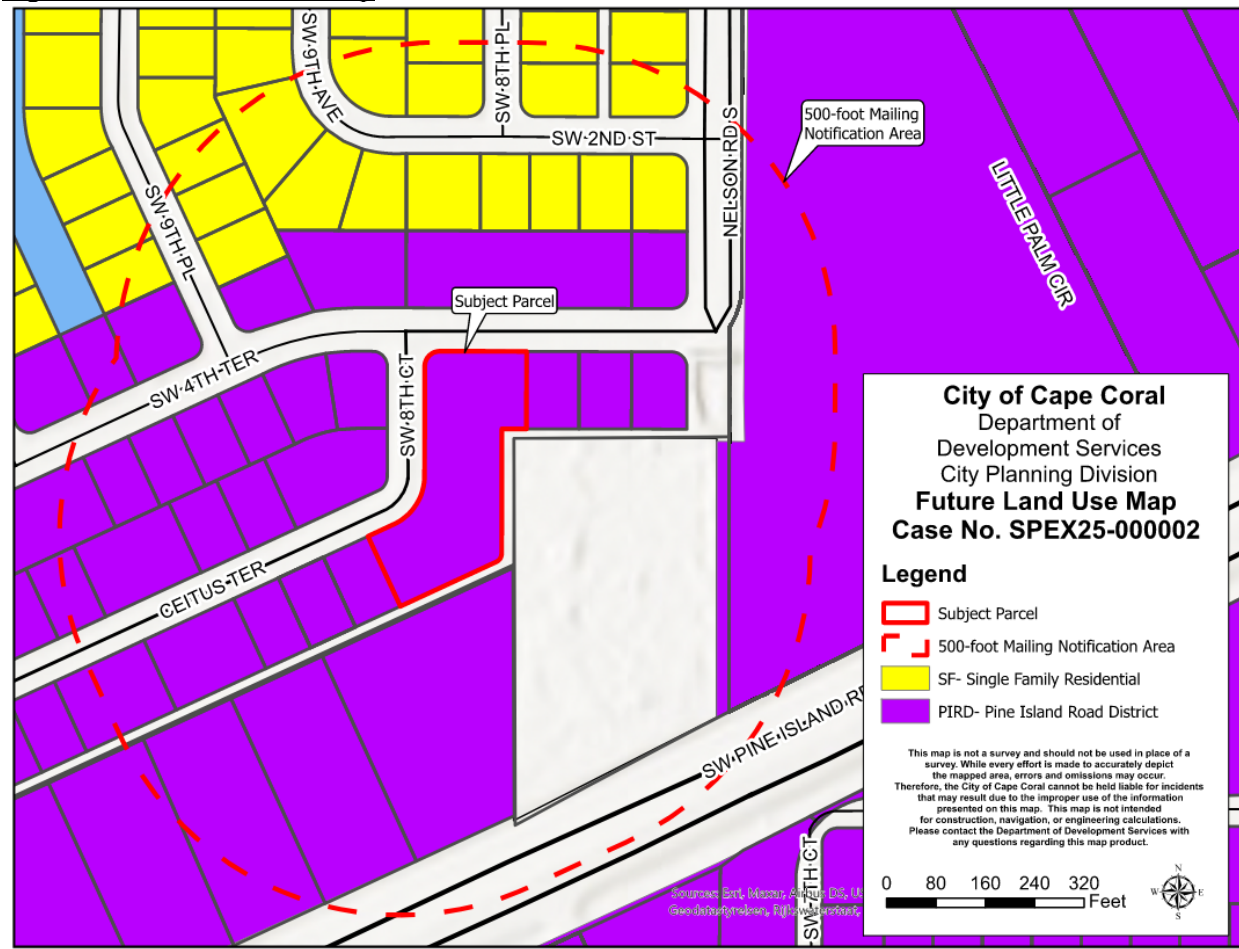
Future Land Use and Zoning:

The subject property was originally zoned Multi-family Residential (R-3); the lot was then rezoned to the Residential Development District (RD) in 1990. In 2004 the property was rezoned to the Corridor District (CORR) coinciding with the adoption of the Pine Island Road Master Plan. The CORR zoning district was eliminated in 2019 and replaced with the Commercial Corridor district (CC).

The property was mapped with a Highway Commercial (HC) Future Land Use Classification (FLUC) upon the adoption of the Future Land Use map in 1989. The FLUC was then amended from HC to Pine Island Road District PIRD in 2002 via Ordinance 38-02.

The majority of surrounding properties have a PIRD FLUC with two exceptions – a single tract remaining within the jurisdiction of Lee County to the southeast and a series of properties with a Single Family Residential (SF) FLUC located approximately 200 feet to the north of the subject property. Similarly, the zoning of the majority of parcels within the area is the CC District. An unincorporated Lee County parcel is located to the southeast, and several properties zoned Single Family Residential (R-1) are located approximately 200 feet to the north.

Figure 2: Future Land Use Map



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The applicant seeks to construct and operate a trailer repair and sales facility which constitutes a vehicle repair, major use and requires special exception approval in the CC District. The City's Land Development Code (LDC), Article 11, defines the term "vehicle repair, major", as *an establishment that provides general repair, rebuilding, or reconditioning of engines, motor vehicles, or trailers, including body work, framework, welding, and major painting services. These establishments generally keep vehicles overnight or for a period exceeding two days.*

The applicant has provided a site plan for the proposed facility which is under review via a site development plan (SDP25-000022). Included within the proposal are two structures, a 4,500 sq.ft. trailer

repair facility and a 9,250 sq.ft. flex space building. Included within the SDP are related parking, landscaping, water management, and a screened storage area for repaired trailers.

Analysis:

The City Planning Division has reviewed this application based on LDC, Sections 3.4.4, and 5.12.1 that address special exception uses, and Section 4.2.11. that provides standards for the CC District. The Comprehensive Plan was also reviewed for applicable goals and policies,

1) Consistency with the Comprehensive Plan:

Vehicle repair, major uses are allowed as a special exception within the CC District. There are no minimum area requirements or special regulations that govern this use. The CC zoning of the subject site is consistent with the PIRD FLUC of the property as noted in Table 1 of Policy 1.15 of the Future Land Use Element.

The proposed use is consistent with those general uses that are identified in Policy 1.15.1. as being appropriate for the PIRD FLUC that include retail, office, office/warehouse, light manufacturing, institutional, multi-family residential, larger scale commercial retail, government, and public facilities.

Policy 2.1: The City shall encourage commercial development where it can efficiently use infrastructure, where their adverse impacts on adjacent uses are minimized and where they will effectively provide the community with desired products, services and employment opportunities.

The proposed development consists of a trailer repair and sales facility as well as a flex space building. These future non-residential uses will offer products, services, and employment opportunities. The facility is approximately 200feet from the nearest residential uses. Water, sewer, and irrigation are available to the property.

Policy 3.5: The City will adhere to the Pine Island Road Corridor Master Plan to provide guidance, standards, and to direct growth and development along Pine Island Road Corridor.

Development standards with the PIRD FLUC have been established in the City's Land Development Code. The proposed development will be designed to meet the development standards of the CC District.

Policy 4.3: The City will continue to periodically review its Economic Development Master Plan to identify emerging trends and encourage large-scale commercial, professional and industrial types of development within the city.

The city is deficient in non-residential lands. This development will add about 13,750 sq. ft. of commercial uses in an area that has adequate infrastructure to support it.

Policy 8.3: Commercial developments shall be designed to minimize negative impacts on surrounding residential uses and the land development regulations shall provide for adequate buffering between commercial and residential uses.

The site is immediately surrounded by parcels that have the same zoning and FLUC with the exception of a Lee County enclave located to the SE. The facility will be located about 200 feet from the nearest residential parcels. In accordance with the LDC, several provisions including landscape buffers, architectural standards, screening and lighting regulations will help mitigate the adverse impacts of commercial development.

2) *Suitability:*

The site must be suitable for the type of special exception use proposed by virtue of its location, shape, topography, and the nature of surrounding development.

The use is proposed on a 1.38-acre parcel with centralized water and sewer services. The property has multiple road frontages as previously described and has access to a rear alley. Consistent with the LDC, the applicant is improving the alley segment which abuts the subject property. Although the property is somewhat irregularly shaped, the engineer of record has designed a functional layout that complies with all LDC requirements. Surrounding properties immediately adjacent to the subject parcel are all unimproved and should not render the property unsuitable for the proposed use.

3) *Setbacks:*

All buildings shall be setback an adequate distance from property lines and rights-of-way. Greater building setbacks may be required when deemed necessary to project surrounding properties.

Based on the site plan, the proposed buildings will meet or exceed the minimum setbacks of the CC District. Setbacks may be viewed on the attached Site Development Plan page 4 – Site Dimensional Plan.

4) *Impacts:*

Potential adverse impacts to surrounding properties must be mitigated to the maximum extent possible.

Impacts to the surrounding area should be minimal. None of the surrounding properties are presently improved. In the future, adjacent parcels having the same zoning and FLUC should develop with uses compatible with the subject use. A condition is proposed to limit where outdoor repairs can be conducted on the site to minimize potential noise impacts.

Site aesthetics

The applicant has Site Development Plan under review. In conjunction with the Site Development Plan, the applicant will be required to submit elevations for all four sides of the proposed buildings. The elevations will be required to comply with LDC, Section 5.8, “*Non-Residential Design Standards*”. These architectural standards are intended to ensure that new commercial buildings are visually attractive and thereby assist in fostering a positive City image, while also providing flexibility needed for modern and innovative design. The most recent draft of these is included for reference.

Lighting

Light emanating from a commercial business can potentially affect and disturb neighboring residential uses. A lighting plan has been submitted and is consistent with the LDC.

Hours of Operation/Noise/Odors

Vehicle repair, major is differentiated from vehicle repair, minor by the magnitude of the business operations permitted. The minor use does not allow for operations such as painting, framework, bodywork, and welding. These more intense repairs are restricted to vehicle repair, major uses. Another feature which differentiates minor from major repair uses is the estimated time a vehicle may be parked onsite, with minor uses expected to be less than two days.

Staff is recommending a condition to prohibit outdoor repairs on the property to minimize noise impacts. This condition will require all repairs to occur indoors. Additional conditions are proposed at the conclusion of this report to further minimize potential impacts.

Fire

The proposed site is located within Fire Zone 8. Minor impacts are expected due to the estimated 15 or less calls/year.

Police

The proposed site is located with the Southwest District, Zone 3. Anticipated impact is around a 1 to 2% increase in calls for service to the Zone and 1% or less City-wide. The department noted the following concerns:

1. Enhanced security measures may be necessary due to the overnight storage of vehicles and high-value assets, warranting increased patrols.
2. The movement of large trucks and trailers may obstruct narrow roads and intersections, potentially delaying patrol responses.
3. There is a heightened risk of traffic incidents involving trailers, which could lead to an increase in calls for service.

Schools

The proposed use is non-residential therefore no impacts on local schools are anticipated.

Recommendation:

The City Planning Division recommends **approval** of the request for a special exception with the following conditions:

1. The design of the site shall be consistent with the Site Development Plan provided by Boral Engineering & Design Inc. that bears a seal of October 23, 2025.
2. All vehicle repair operations are limited to the building identified on the SDP as Building A – Trailer Repair. The Vehicle repair, major use is prohibited in the building identified on the SDP as Building B – Flex Space.
3. Except for the loading and unloading of delivery vehicles, all trailer construction, demolition, or repair activities shall occur indoors in Building A. All outdoor repair work is prohibited.
4. All doors to Building A shall be closed at all times except to allow the loading and unloading of incoming or outgoing trailers or delivery vehicles.
5. Trailers for sale or customer pickup shall be located only within the trailer storage area and shall not be parked or stored in customer parking spaces.
6. Parking or storage of vehicles or trailers along any abutting street frontage is prohibited.
7. Except for completed trailers stored in the storage area, no outside storage of products, materials, or chemicals is allowed.
8. Space on the site may not be leased for trailer, vehicle, or boat storage.



DEPARTMENT OF DEVELOPMENT SERVICES
CITY PLANNING DIVISION

For Internal Use Only

Case _____

Date _____

Tel. (239) 574-0553

Fax (239) 574-0591

P.O. Box 150027

Cape Coral, FL 33915-0027

SPECIAL EXCEPTION APPLICATION

SPECIAL EXCEPTION REQUIREMENTS

****It is required that applicant and/or representative attend the hearing examiner meeting****

1. ☐ **Letter of Intent stating the actual request.**
 - This appeal for a Special Exception is for a proposed use. In the case of an existing structure, it is recommended that the applicant request a site-check by the Fire and/or Building Division for suitability and compliance with codes, prior to filing the appeal.
2. ☐ **Applicant's portion of request shall be typewritten, and signature notarized.**
 - All forms (Application, Acknowledgement Form, Authorization to Represent) MUST be signed by the property owner or the applicant. If the Authorized Representative is an attorney, the application and the Acknowledgement Form may be signed by the attorney and an Authorization to Represent Form is not required.
 - If there are any deed restrictions on the property, a copy of the restrictions will be required.
3. ☐ **Landscaping:**
 - A continuous strip of landscaping shall be provided along all property lines and streets serving the development.
 - Models. The models shall comply with the single-family landscaping requirements as indicated in Section 5.2.3.B.1.
 - Identify method of irrigation and location of utility lines and easements.
4. ☐ **Development plan drawn to scale (not less than 1" = 50') and containing the following:**
 - Site layout showing dimensions, boundary lines, North directional arrow and complete legal description of the property.
 - The location and dimensions of all existing and/or proposed buildings and structures, including additions and eaves, overhangs, porches and patios.
 - The setback distance from all buildings, additions to structure to property lines. Indicate the square footage associated with each existing and proposed use of buildings.
 - Location and dimensions of driveways. Show parking areas with layout and number of spaces and traffic flow.
5. ☐ **Certified survey done within six (6) months MAY be required.**
6. ☐ **Projected number of peak hour trips. If more than 300 peak hour trips are projected, a traffic impact study must be submitted.**



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FEE: \$833.00 first 3 acres plus \$220.00 each additional acre over 3 up to 20 acres; \$22.00 per acre over the first 20 acres. In addition to the application fee, all required advertising costs are to be paid by the applicant (ORD 39-03, Sec. 5.4). Advertising fees will be billed and must be paid prior to hearing.

NOTE TO APPLICANT

Following the approval of your request, the applicant shall be responsible for paying the City to electronically record the final signed Resolution or Ordinance with the Lee County Clerk of Court. Until this fee is paid, restrictions on the issuance of any City permits will remain on the affected property that will prevent the city from issuing any applicable building permits, site plans, certificates of use, or certificates of occupancy for any property covered by the Resolution or Ordinance.



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Cape Coral, FL 33915-0027

SPECIAL EXCEPTION APPLICATION

PROPERTY INFORMATION

Owners (Business Name) Name: John J. Blanchette / Crakat Industries Inc.
Location/Address 822/826 Ceitus Terrace and 816 SW 2nd Terrace, Cape Coral, FL 33991
Strap Number 15-44-23-C2-03619.0300; .0360 Unit 49 Block 3619 Lot(s) 30-39
Plat Book 17 Page 154 Future Land Use PIRD Current Zoning CC

PROPERTY OWNER (S) INFORMATION

Owner John J. Blanchette Address 2803 SW 33rd Street
Phone 239-243-4887 City Cape Coral
Email JohnJRocketman@yahoo.com State FL Zip 33991

Owner _____ Address _____
Phone _____ City _____
Email _____ State _____ Zip _____

APPLICANT INFORMATION (If different from owner)

Applicant _____ Address _____
Phone _____ City _____
Email _____ State _____ Zip _____

AUTHORIZED REPRESENTATIVE INFORMATION (If Applicable)

Representative Boral Engineering & Design Inc. Address 711 5th Ave S, Suite 209
Phone 239-200-5512 City Naples
Email Javier@Boralengineering.com State FL Zip 34102



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If the owner does not own the property in his/her personal name, the owner must sign all applicable forms in his/her corporate capacity.

(ALL SIGNATURE MUST BE NOTARIZED)

The owner of this property, or the applicant agrees to conform to all applicable laws of the City of Cape Coral and to all applicable Federal, State, and County laws and certifies that all information supplied is correct to the best of their knowledge.

CRAKAT INDUSTRIES INC.
CORPORATION/COMPANY NAME (IF APPLICABLE)

JOHN J. BLANCHETTE
OWNER'S NAME (TYPE OR PRINT)

John J. Blanchette
OWNER'S SIGNATURE

OWNER'S NAME (TYPE OR PRINT)

OWNER'S SIGNATURE

APPLICANT NAME (TYPE OR PRINT)

APPLICANT SIGNATURE

I have read and understand the above instructions. Hearing date(s) will be confirmed when I receive a copy of the Notice of Public Hearing stipulating the day and time of any applicable hearings.

STATE OF Florida
COUNTY OF Lee

Sworn to (or affirmed) and subscribe before me, by means of ☒ physical presence or ☐ online notarization, this 19th day of March, 2025 by John J. Blanchette who is personally known to me or produced FL DL as identification.



Brittany Bolin
Comm.: HH 634024
Expires: Jan. 30, 2029
Notary Public - State of Florida

Exp Date: 1/30/2029 Commission Number: HH634024

Signature of notary Public:

Brittany Bolin

Printed Name of Notary Public:

Brittany Bolin



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AUTHORIZATION TO REPRESENT PROPERTY OWNER(S)

PLEASE BE ADVISED THAT ANDRES BORAL, PE, MBA/ BORAL ENGINEERING & DESIGN INC
(Name of person giving presentation)

IS AUTHORIZED TO REPRESENT ME IN THE REQUEST BEFORE THE HEARING EXAMINER
AND CITY COUNCIL.

UNIT 49 BLOCK 3619 LOT(S) 30-39 SUBDIVISION N/A

OR LEGAL DESCRIPTION CAPE CORAL UNIT 49, BLK 3619, PB 17 PG 154, LOTS 30-39

LOCATED IN THE CITY OF CAPE CORAL, COUNTY OF LEE, FLORIDA.

John J Blanchette
PROPERTY OWNER (Please Print)

John J Blanchette President
PROPERTY OWNER (Signature & title)

PROPERTY OWNER (Please Print)

PROPERTY OWNER (Signature & title)

STATE OF Florida

COUNTY OF Lee

Sworn to (or affirmed) and subscribe before me, by means of ☒ physical presence or ☐ online
notarization, this 19TH day of March, 2025 by John J. Blanchette who
is personally known to me or produced FL DL as identification.



Brittany Bolin Exp Date: 1/30/2029 Commission Number: HH 634024
Comm.: HH 634024
Expires: Jan. 30, 2029
Notary Public - State of Florida

Signature of notary Public:

Brittany Bolin

Printed Name of Notary Public:

Brittany Bolin

Note: Please list all owners. If a corporation, please supply the City Planning Division with a
copy of corporation papers.



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DOCUMENTARY EVIDENCE (LDC, Section 3.1.11F.6)

A copy of all documentary evidence shall be made available to the decision-making body or the Hearing Examiner and to staff no later than three business days prior to the hearing of the application. This requirement includes information that the applicant intends to present at public hearing.

I have read the above requirement and agree to comply with this provision.

John J. Blanchette
OWNER/APPLICANT
(PLEASE TYPE OR PRINT)

John J. Blanchette
OWNER/APPLICANT SIGNATURE

(SIGNATURE MUST BE NOTARIZED)

STATE OF Florida
COUNTY OF Lee

Sworn to (or affirmed) and subscribe before me, by means of ☒ physical presence or ☐ online notarization, this 19TH day of March, 2025 by John J. Blanchette who is personally known to me or produced FL DL as identification.



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Signature of Notary Public: Brittany Bolin

Printed Name of Notary Public: Brittany Bolin



SPECIAL EXCEPTION REGULATIONS

Section 3.4.4. Special Exceptions.

The intent of this section is to permit Special Exception uses which are essential to, or would promote the public health, safety, or welfare in one or more zoning districts, but which might impair the integrity and character of the zoning district or in adjoining districts, such that restrictions or conditions on location, size, extent, and character of performance may be imposed in addition to those standards already imposed in the Land Development Code.

A. General.

1. No variances shall be granted that would reduce or eliminate minimum requirements for special exception uses.
2. The Hearing Examiner may prescribe appropriate conditions and safeguards in conformity with 1752 the special exception use requirements. All such conditions shall be part of the terms under 1753 which the special exception is granted.
3. A special exception shall be deemed abandoned if:
 - a. The use is discontinued for more than 1 year; or
 - b. The special exception has not obtained a certificate of zoning compliance.
4. The proposed use shall comply with all requirements of the underlying zoning district(s), the Land Development Code, and all other applicable law.

B. Standards and Criteria. The following standards shall apply to all applications for special exception uses.

1. Consistency with the Comprehensive Plan?
2. The site must be suitable for the type of special exception use proposed by virtue of its location, shape, topography, and the nature of surrounding development.
3. All buildings shall be setback an adequate distance from property lines and rights-of-way. Greater building setbacks may be required when deemed necessary to protect surrounding properties.
4. Potential adverse impact to surrounding property must be mitigated to the maximum extent possible.



Site Development Letter of Intent

April 14, 2025

Development Services
1015 Cultural Park Boulevard
Cape Coral, Florida 33990

**PROJECT: 822 / 826 CEITUS TERRACE & 816 SW 2ND TERRACE
TRAILER REPAIR & WAREHOUSES**

Dear Mr. Grambow:

It is the intent of our client, Crakat Industries Inc, to request a Site Plan Permit and Special Exception for the site development of a Trailer Repair & Multi-use Warehouse facility, along with associated site improvements such as, but not limited to; paved parking, site landscaping, utility connections, offsite improvements and a solid waste enclosure. The property comprises 1.38 acres, located at 822/826 Ceitus Terrace and 816 SW 2nd Terrace, Cape Coral, Florida. The subject parcels are within Unit 49, Block 3619, Lots 30-39. The subject parcels are Zoned (CC) and have a Future Land Use designation of (PIRD).

The adjacent properties have the following Future Land Use and Zoning designations:

	<u>FLU</u>	<u>ZONING</u>
NORTH	PIRD	CC
EAST	PIRD	CC
SOUTH	PIRD	CC
WEST	PIRD	CC

Sincerely,

Boral Engineering & Design, Inc.

Andres Boral, P.E.
Florida License Number: 80373

PROJECT CONTACTS

PROPERTY OWNER: JOHN J. BLANCHETTE
CRAKAT INDUSTRIES INC.

OWNER'S AGENT: ANDRES BORAL
BORAL ENGINEERING & DESIGN, INC.

UTILITY COMPANIES

ELECTRIC:
L.C.E.C. INC.
4980 BAYLINE DR.
N. FORT MYERS, FL 33917
(239) 656-2296

TELECOMM. & INTERNET:
COMCAST CABLEVISION
12641 CORP. LAKES DR.
FORT MYERS, FL 33913
(239) 432-9277

POTABLE WATER:
CAPE CORAL UTILITY DEPT.
1015 CULTURAL PARK BLVD.
CAPE CORAL, FL 33990
(239) 945-0800

WASTEWATER:
CAPE CORAL UTILITY DEPT.
1015 CULTURAL PARK BLVD.
CAPE CORAL, FL 33990
(239) 945-0800

NATURAL GAS:
TECO/PEOPLES GAS
5901 ENTERPRISE PKWY
FORT MYERS, FL 33905
(239) 690-5508

SOLID WASTE:
WASTE PRO
1015 CULTURAL PARK BLVD.
CAPE CORAL, FL 33990
(239) 945-0800

PROPOSED BUILDING(S)

BUILDING A:
PROPOSED USE(S): VEHICLE / TRAILER REPAIR
OFFICE (SINGLE TENANT)
BUILDING AREA: 4,500 SF

BUILDING B:
PROPOSED USE: FLEX SPACE
BUILDING AREA: 9,250 SF

TOTAL BLDG. GFA: (13,750 SF)
BUILDING(S) HEIGHT: 25'

CONSTRUCTION TYPE: TYPE II-B (000)
(UNPROTECTED NON-COMBUSTIBLE, SPRINKLERED)

NOTE: ALL BUILDINGS MUST MEET TWO-WAY RADIO COMMUNICATION
SIGNAL STRENGTH REQUIREMENTS PER NFAP 72.24.5.2

PARKING REQUIREMENTS

PROPOSED USE: VEHICLE / TRAILER REPAIR USE (3,830 SF)
(1 SPACE PER 400 SF OF GFA)
REQUIRED: 9.6 PARKING SPACES

PROPOSED USE: OFFICE (670 SF)
(1 SPACE PER 300 SF OF GFA)
REQUIRED: 2.2 PARKING SPACES

PROPOSED USE: FLEX SPACE (9,250 SF)
(1 SPACE PER 300 SF OF GFA)
REQUIRED: 30.8 PARKING SPACES

TOTAL REQ'D.: 43 PARKING SPACES
TOTAL PROVID.: 46 PARKING SPACES (INC. 2 H/C)

ZONING DESIGNATION:

COMMERCIAL CORRIDOR (CC)	SITE:	(PIRD) - VACANT
COMMERCIAL CORRIDOR (CC)	NORTH:	(PIRD) - VACANT
COMMERCIAL CORRIDOR (CC)	SOUTH:	(PIRD) - VACANT
COMMERCIAL CORRIDOR (CC)	WEST:	(PIRD) - VACANT
COMMERCIAL CORRIDOR (CC)	EAST:	(PIRD) - VACANT

FUTURE LAND USE

BUILDING SETBACKS

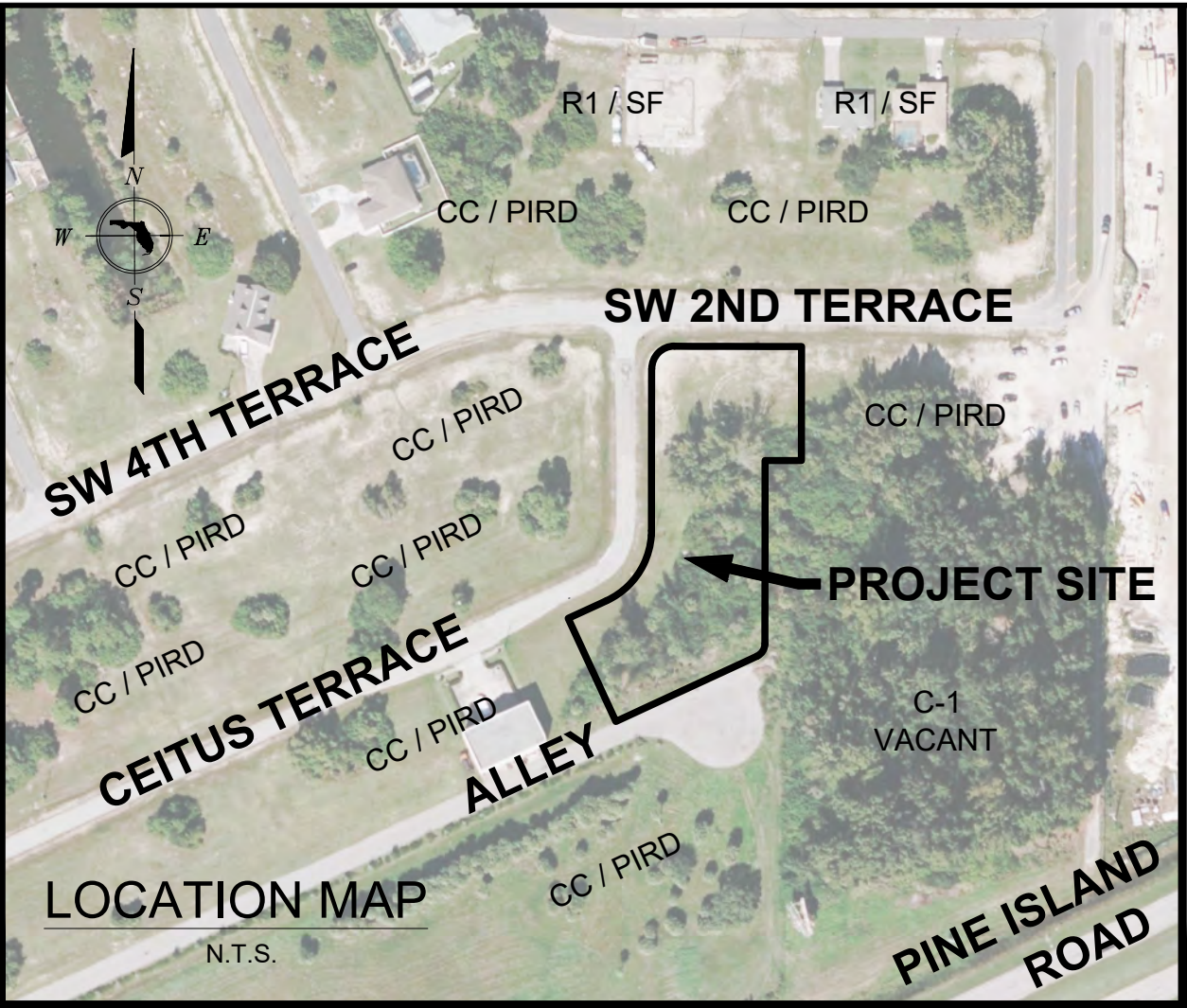
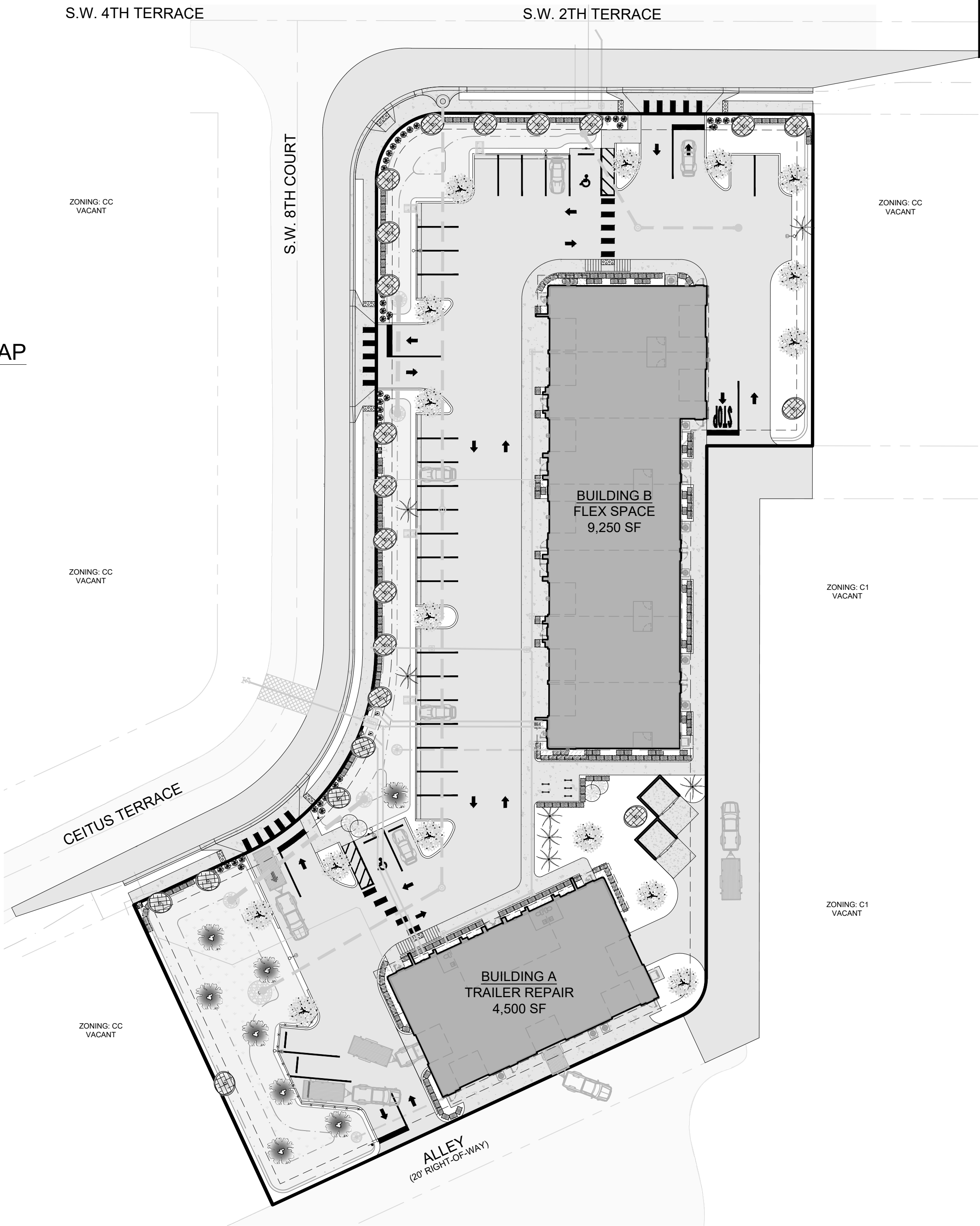
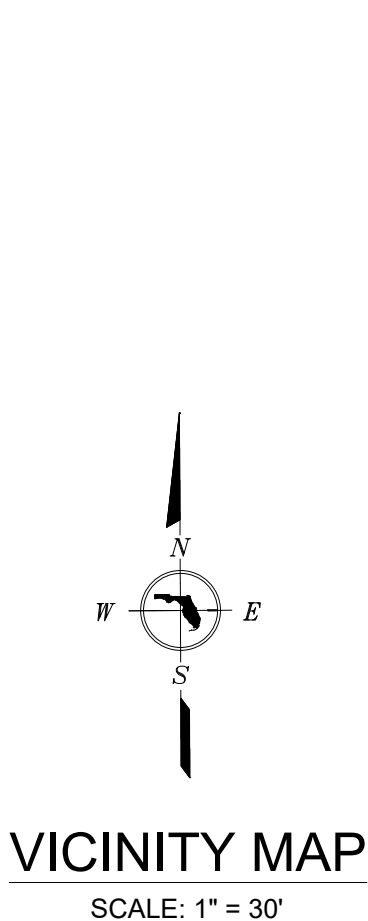
REQ'D		REQ'D
20'	NORTH (FRONT):	5'
10'	60' R/W - SW 2ND TERRACE	
	SOUTH (SIDE):	0'
	VACANT	
20'	WEST (FRONT):	5'
10'	60' R/W - CEITUS TERRACE	
	EAST (SIDE):	0'
	20' ALLEY / VACANT	

LANDSCAPE BUFFERS

SITE AREA BREAKDOWN

	SQUARE FEET	ACRES	PERCENTAGE
TOTAL	60,095	1.380	100.00%
BUILDING	13,750	0.316	22.88%
PAVEMENT	28,026	0.643	46.64%
IMPERVIOUS	41,776	0.959	69.52%
PERVIOUS	18,319	0.421	30.48%

SITE DEVELOPMENT PLANS FOR CEITUS TERRACE TRAILER REPAIR & FLEX SPACE SECTION 15, TOWNSHIP 44 SOUTH, RANGE 23 EAST LEE COUNTY, FLORIDA



APPROVAL SUBMITTAL PLANS
FOR CONSTRUCTION

SITE DATA TABLE

SITE ADDRESS(S):	818/824 CEITUS TERRACE CAPE CORAL, FL 33991
SITE AREA:	60.095 SF (±1.38 AC)
FUTURE LAND USE:	(PIRD)
ZONING DESIGNATION:	(CC)
MAX BUILDING HEIGHT:	45'
FEMA ZONE:	FLOOD ZONE "X"
STRAP NUMBER:	15-44-23-C2-03619.0300
FOLIO NUMBER:	10633945

INDEX OF SHEETS

- COVER SHEET
- GENERAL NOTES
- AERIAL, EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN
- SITE DIMENSION & STRIPING PLAN
- GRADING, PAVING & DRAINAGE PLAN
- UTILITY PLAN
- CROSS SECTIONS
- GRADING, PAVING & DRAINAGE DETAILS
- UTILITY DETAILS
- UTILITY DETAILS (CONT'D.)
- PHASING PLAN
- LANDSCAPE & IRRIGATION PLAN
- SITE LIGHTING PLAN

CALL 48 HOURS
BEFORE YOU DIG



IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NOTE:

ALL **EXISTING** (SURVEY) AND **PROPOSED** GRADE
ELEVATIONS SHOWN REFER TO **N.G.V.D. '29**.

THESE PLANS MAY HAVE BEEN INCREASED OR
REDUCED IN SIZE BY REPRODUCTION(S). THIS MUST
BE CONSIDERED WHEN OBTAINING SCALED DATA.

PROJECT: 23-140
DATE: 02/24

ANDRES BORAL, PE, MEA
LICENSE # 80373 FPE # 31552
711 5TH AVE SOUTH, SUITE 209, NAPLES FL 34102
ANDRES@BORALENGINEERING.COM
(P) 239-692-0509

BORAL
ENGINEERING
WWW.BORALENGINEERING.COM

OWNER:
CRAKAT INDUSTRIES INC.
5901 ENTERPRISE PKWY
FORT MYERS, FL 33905
CAPE CORAL, FL 33914

DATE	BY	REVISION DESCRIPTION
07/25/2023	JB	REVISED PER CITY OF CAPE CORAL RAI #1
01/08/2026	JB	REVISED PER CITY OF CAPE CORAL RAI #2

CEITUS TERRACE
TRAILER REPAIR &
FLEX SPACE
CAPE CORAL, FL 33991

COVER SHEET

SHEET
1 OF 13

SITE DATA TABLE

SITE ADDRESS(S):	818/824 CEITUS TERRACE CAPE CORAL, FL 33991
SITE AREA:	60,095 SF (±1.38 AC)
FUTURE LAND USE:	(PIRD)
ZONING DESIGNATION:	(CC)
MAX BUILDING HEIGHT:	45'
FEMA ZONE:	FLOOD ZONE "X"
STRAP NUMBER:	15-44-23-C2-03619.0300
FOLIO NUMBER:	10633945

PROPOSED BUILDING(S)

BUILDING A:	
PROPOSED USE(S):	3,830 SF - VEHICLE / TRAILER REPAIR
	670 SF - OFFICE (SINGLE TENANT)
BUILDING AREA:	4,500 SF

BUILDING B:	
PROPOSED USE:	FLEX SPACE
BUILDING AREA:	9,250 SF

COMBINED BLDG GFA: 13,750 SF

BUILDING(S) HEIGHT: 25'

CONSTRUCTION TYPE: TYPE II-B (000)
(UNPROTECTED NON-COMBUSTIBLE, SPRINKLERED)

NOTE: ALL BUILDINGS MUST MEET TWO-WAY RADIO COMMUNICATION
SIGNAL STRENGTH REQUIREMENTS PER NFAP 72.24.5.2

PARKING REQUIREMENTS

PROPOSED USE:	VEHICLE / TRAILER REPAIR USE (3,830 SF)
(1 SPACE PER 400 SF OF GFA)	
REQUIRED:	9.6 PARKING SPACES

PROPOSED USE:	OFFICE (670 SF)
(1 SPACE PER 300 SF OF GFA)	
REQUIRED:	2.2 PARKING SPACES

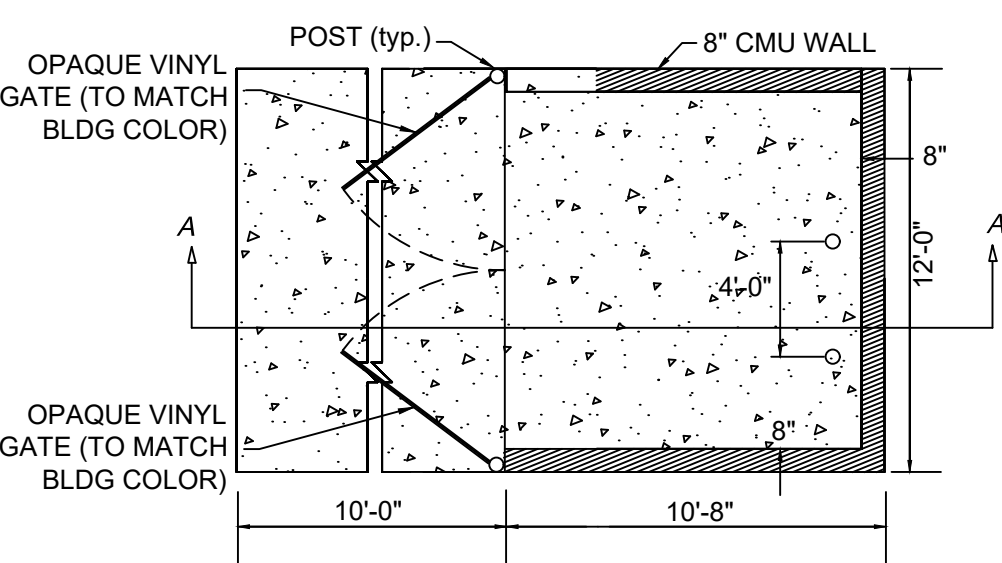
PROPOSED USE:	FLEX SPACE (9,250 SF)
(1 SPACE PER 300 SF OF GFA)	
REQUIRED:	30.8 PARKING SPACES

TOTAL REQ'D:	43 PARKING SPACES
TOTAL PROV'D:	46 PARKING SPACES (INC. 2 H/C)

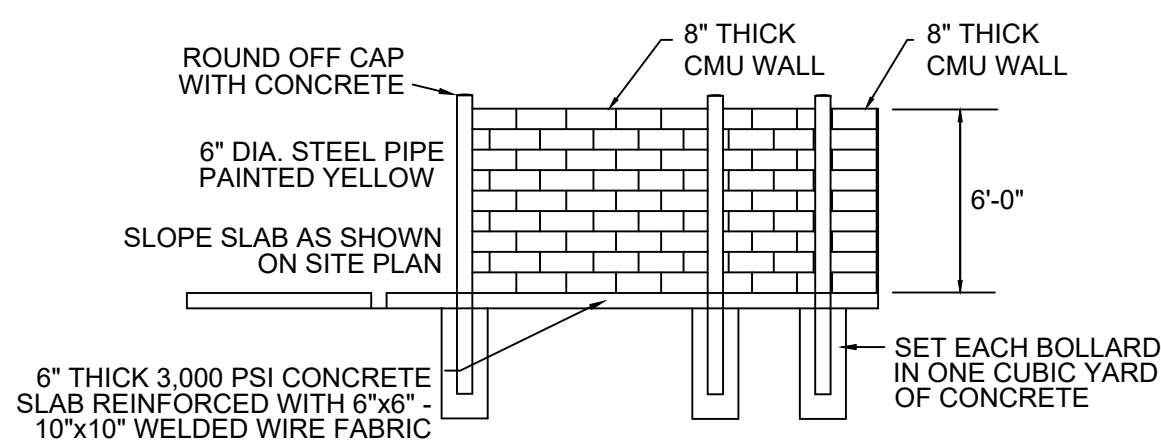
BICYCLE PARKING

PER CAPE CORAL LDC §6.1.7.C - BICYCLE PARKING
TOTAL SITE AREA: 60,095 SF

REQUIRED SPACES:	10 BICYCLE SPACES
TOTAL PROV'D:	10 BICYCLE SPACES



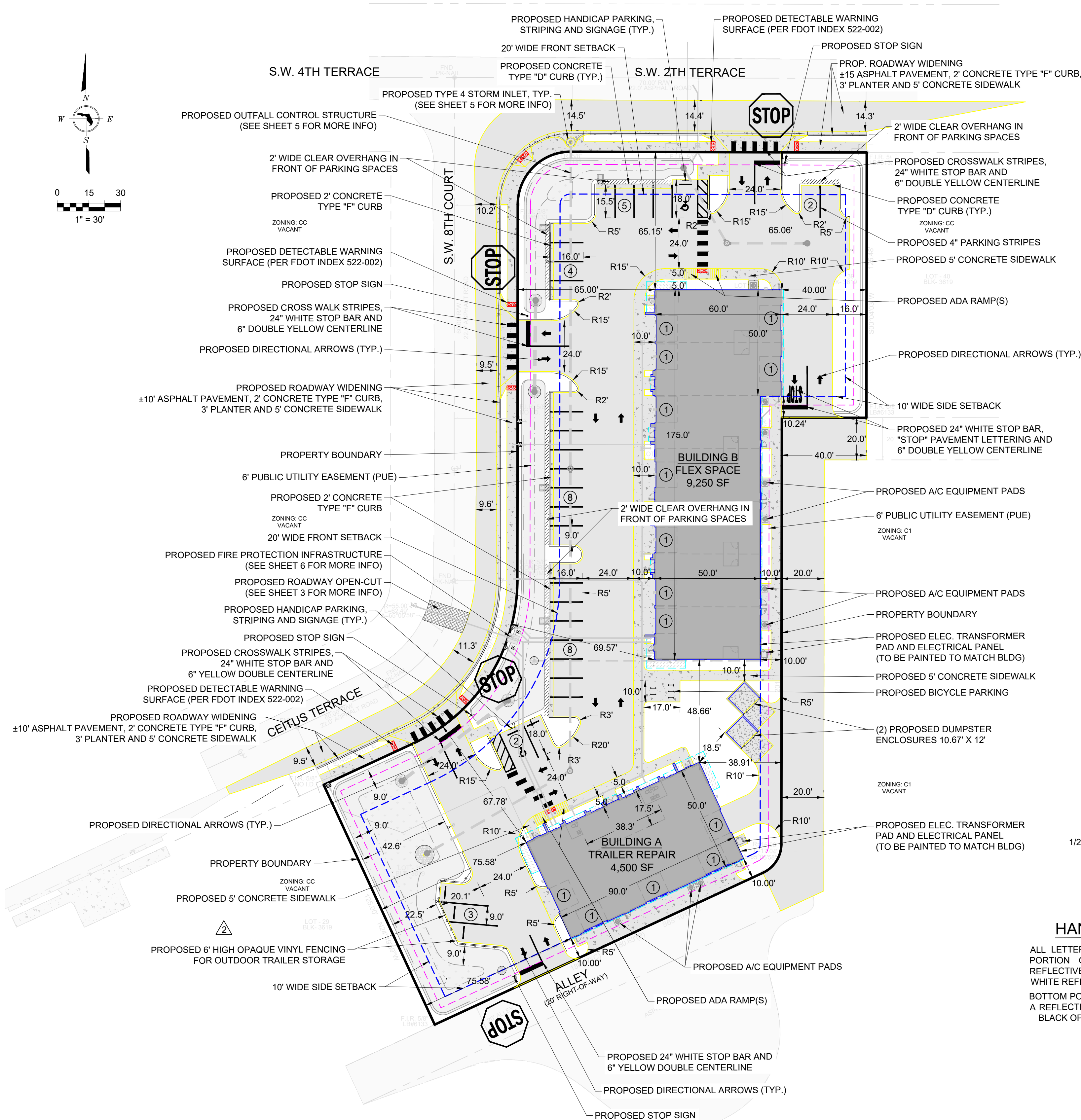
PLAN VIEW



SECTION A - A

- TOP COURSE OF BLOCK TO BE FILLED WITH MORTAR, TOWELED AND WASHED.
- CONCRETE BLOCK TO BE PAINTED TO MATCH FACE OF THE BUILDING.

ENCLOSED DUMPSTER PAD w/ GATE



STRIPING NOTES:

- ALL PAVEMENT MARKING AND STRIPING WITHIN SITE SHALL BE IN ACCORDANCE WITH M.U.T.C.D.
- ALL STRIPING AND PAVEMENT MARKINGS SHALL BE TWO (2) COATS OF TRAFFIC REFLECTIVE PAINT (F.D.O.T. SECT. #710) UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATION.
- ALL MARKING WITHIN A PUBLIC R/W SHALL BE IN THERMOPLASTIC. (F.D.O.T. SECT. #711)
- ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH EXISTING PAVEMENT MARKINGS SHALL BE REMOVED BY HYDROBLASTING.

SITE AREA TABLE

	SQUARE FEET	ACRES	PERCENTAGE
TOTAL	60,095	1.380	100.00%
BUILDING	13,750	0.316	22.88%
PAVEMENT	28,026	0.643	46.64%
IMPERVIOUS	41,776	0.959	69.52%
PERVIOUS	18,319	0.421	30.48%

APPROVAL SUBMITTAL PLANS FOR CONSTRUCTION

BUILDING SETBACKS

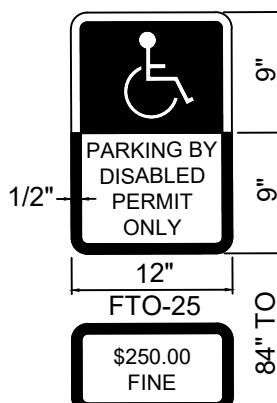
REQ'D	PROV'D
20'	65.06'
10'	75.58'
20'	65.0'
10'	10.0'

LANDSCAPE BUFFERS

REQ'D	PROV'D
5'	5'
0'	0'
5'	5'
0'	0'

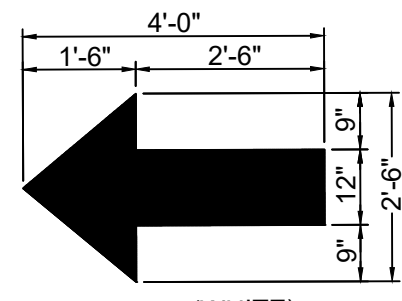


R1-1
(36"x36")
N.T.S.

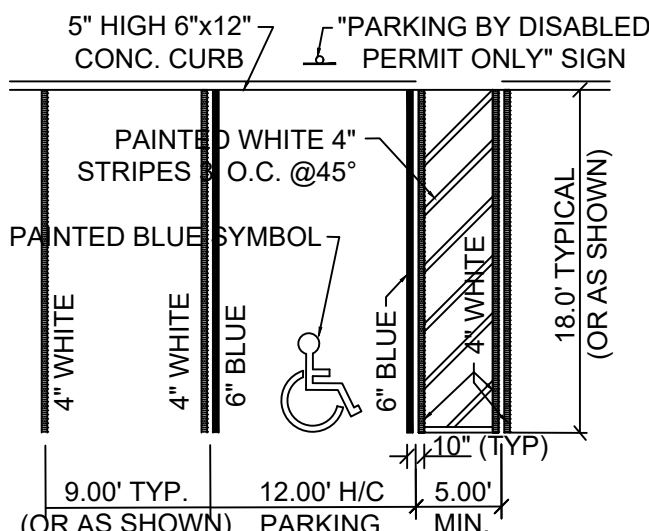


HANDICAP SIGN

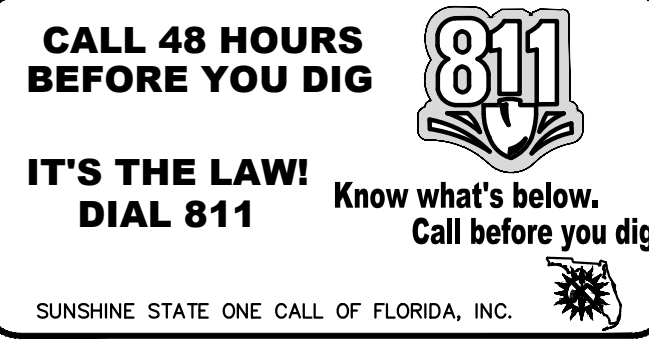
ALL LETTERS ARE 1" SERIES 'C'. TOP
PORTION OF SIGN SHALL HAVE A
REFLECTIVE BLUE BACKGROUND W/
WHITE REFLECTIVE LEGEND & BORDER.
BOTTOM PORTION OF SIGN SHALL HAVE
A REFLECTIVE WHITE BACKGROUND W/
BLACK OPAQUE LEGEND & BORDER.



TYPICAL DIRECTIONAL ARROW
N.T.S.



TYPICAL STRIPING DETAIL
N.T.S.



NOTE:

ALL **EXISTING** (SURVEY) AND **PROPOSED** GRADE
ELEVATIONS SHOWN REFER TO **N.G.V.D. '29**.
THESE PLANS MAY HAVE BEEN INCREASED OR
REDUCED IN SIZE BY REPRODUCTION(S). THIS MUST
BE CONSIDERED WHEN OBTAINING SCALED DATA.

APPROVAL SUBMITTAL PLANS
FOR CONSTRUCTION

SITE DATA TABLE

SITE ADDRESS(S):	818/824 CEITUS TERRACE CAPE CORAL, FL 33991
SITE AREA:	60,095 SF (±1.38 AC)
FUTURE LAND USE:	(PIRD)
ZONING DESIGNATION:	(CC)
MAX BUILDING HEIGHT:	45'
FEMA ZONE:	FLOOD ZONE "X"
STRAP NUMBER:	15-44-23-C2-03619.0300
FOLIO NUMBER:	10633945

TREE SPECIES MIX:

No. OF TREES REQ'D.: 55 TREES
REQ'D. No. OF SPECIES: 5 SPECIES
PROP. No. OF SPECIES: 5 SPECIES

OPEN SPACE:

REQ'D.: 15.0% OPEN SPACE MIN.
PROVD.: 31.1% OPEN SPACE
SEE GPD PLAN FOR MORE INFO. (SHEET 5)

PLANT LIST

TYPE	NATIVE	SYMBOL	QTY.	SPECIES	SIZE & SPECIFICATIONS
CANOPY TREE	Y		22	SHADY LADY TREE (<i>olea simaruba</i>)	2.0" DBH MIN @ 12" ABOVE GRADE 10' HEIGHT MIN., SPACED 20' O.C.
CANOPY TREE	Y		16	MAHOGANY TREE (<i>swietenia mahagoni</i>)	2.0" DBH MIN @ 12" ABOVE GRADE 10' HEIGHT MIN., SPACED 20' O.C.
CANOPY TREE	Y		8	BALD CYPRESS TREE (<i>taxodium distichum</i>)	2.0" DBH MIN @ 12" ABOVE GRADE 10' HEIGHT MIN., SPACED 20' O.C.
PALM TREE	Y		7	SABAL PALM (<i>sabal palmetto</i>)	MIN. 16" HEIGHT OVERALL, OR IF WITHIN 10' FROM WALKWAY, MIN. 10' CLEAR TRUNK AT PLANTING
ACCENT TREE	Y		4	WAX MYRTLE TREE (<i>myrica cerifera</i>)	1.5" DBH MIN @ 6" ABOVE GRADE 8' HEIGHT MIN.
SHRUB / HEDGE	Y		238	COCO PLUM SHRUB (<i>chrysobalanus icaco</i>)	7 GALLON, 36" HEIGHT MIN. SPACED 3' O.C.
SHRUB / HEDGE	Y		53	COONTIE SHRUB (<i>zamia pumila</i>)	7 GALLON, 12" HEIGHT MIN. SPACED 3' O.C.
GROUND COVER/ SOD	Y		PER PLAN	BAHIA SOD (<i>stenotaphrum secundatum</i>)	INSTALL ON 4" OF TOP SOIL

IRRIGATION NOTES:

- DESIGN DRAWINGS SHALL BE PROVIDED FOR THE INSTALLATION OF IRRIGATION SYSTEMS PRIOR TO START OF CONSTRUCTION OF THE IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ACHIEVE A MINIMUM OF 70% EFFICIENCY BY PROVIDING SPRINKLER HEAD PLACEMENT AND NOZZLE SELECTION THAT ARE WITHIN MANUFACTURERS SPECIFICATIONS. IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH F.S. TITLE XXVIII, CH. 373, §228, AND THE STANDARDS ADOPTED BY THE CITY AND REFERENCE THE FLORIDA BUILDING CODE, PLUMBING VOLUME, APPENDIX F. DESIGN DRAWINGS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER, LICENSED PLUMBING/IRRIGATION CONTRACTOR OR LICENSED LANDSCAPE ARCHITECT AND PROVIDE THE SPECIFIC REQUIREMENTS OF ORDINANCE §19-90.2.
- THE LANDSCAPE AREAS OF THE ENTIRE PROJECT SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A CONTROLLER SET TO CONSERVE WATER. A MOISTURE DETECTION DEVICE SHALL BE INSTALLED TO OVERRIDE THE SPRINKLER ACTIVATION MECHANISM DURING PERIODS OF INCREASED RAINFALL. THE RAIN SENSOR SHALL BE POSITIONED SO THAT IT WILL RECEIVE DIRECT RAINFALL AND NOT BE IMPEDED BY ANY OTHER OBJECTS.
- ALL REQUIRED IRRIGATION SYSTEMS SHALL BE LAID OUT SO THAT WATER IS NOT APPLIED TO IMPERVIOUS SURFACES, INCLUDING ROADS, DRIVEWAYS AND OTHER IMPERVIOUS SURFACES.
- REQUIRED IRRIGATION SHALL NOT IMPACT EXISTING NATIVE VEGETATION THAT WILL BE RETAINED ON THE DEVELOPMENT SITE.
- "RAINBIRD" IRRIGATION SUPPLIES OR AN APPROVED EQUAL SHALL BE UTILIZED.
- ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS WILL BE ADEQUATELY SLEEVED FOR IRRIGATION.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE AN AUTOMATIC IRRIGATION SYSTEM PLAN TO BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE PROPOSED SYSTEM SHALL BE CONNECTED TO THE EXISTING CITY IRRIGATION WATER SUPPLY. THE CONTRACTOR SHALL COORDINATE AND INSTALL CONNECTIONS TO THE IRRIGATION SYSTEM PER THE CITY OF CAPE CORAL REQUIREMENTS.
- IRRIGATION PIPING SHALL BE ASTM D1785, SCHEDULE 40 OR 80 WITH 12" MIN. COVER.
- PIPING UNDER PAVEMENT SHALL BE IN A PVC SLEEVE (ASTM D1785, SCHEDULE 40 PVC.)
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS AND OPERATION MANUALS.

CALL 48 HOURS
BEFORE YOU DIG



IT'S THE LAW!
DIAL 811 Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NOTE:

ALL EXISTING (SURVEY) AND PROPOSED GRADE ELEVATIONS SHOWN REFER TO N.G.V.D. '29.

THESE PLANS MAY HAVE BEEN INCREASED OR REDUCED IN SIZE BY REPRODUCTION(S). THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

LANDSCAPING REQUIREMENTS:

GENERAL TREE REQUIREMENTS:

(60,095 - 5,000 = 55,095 S.F. SITE AREA)
1 CANOPY TREE PER 1,000 S.F. (EXCL. BUFFERS)

REQ'D.: 55,095 / 1,000 S.F. = 55 CANOPY TREES
PROVIDED: 55 CANOPY TREE CREDITS
- 46 CANOPY TREES
- 4 ACCENT TREES
- 7 PALM TREES

PLANTING ADJACENT TO ROADS (NORTH & WEST):

(500' L.F. FRONTAGE - 85' (COMB.) DRIVE & WALKWAYS = 415 L.F.)

CANOPY: 1 CANOPY TREE (OR 2 ACCENT) PER 30 L.F. OF FRONTAGE
REQ'D.: 415 / 30 L.F. = 14 CANOPY TREES
PROVIDED: 19 CANOPY TREES

SHRUBS: 1 SHRUB PER 3' L.F. OF FRONTAGE, ON CENTER
REQ'D.: 415 / 3 L.F. = 138 SHRUBS
PROVIDED: 138 SHRUBS

INTERNAL PARKING PLANTING AREAS:

(±23,000 S.F. PAVED x 10% = 2,300 S.F. PLANTING AREA)
1 CANOPY TREE PER 150 SF OF PLANTING AREA

REQ'D.: 2,300 / 150 S.F. = 16 CANOPY TREES
PROVIDED: 2,400 S.F. = 16 CANOPY TREES

BUILDING FOUNDATION PLANTINGS:

(13,750 S.F. BLDG. x 10% = 1,375 S.F. PLANTING AREA)
1 SHRUB TREE PER 9 SF OF PLANTING AREA

REQ'D.: 1,375 / 9 S.F. = 153 SHRUBS
PROVIDED: 1,377 S.F. = 153 SHRUBS

TREE SUBSTITUTIONS:

MAX. OF 50% OF REQ'D. TREES MAY BE SUBSTITUTED
REQ'D.: 55 CANOPY TREES
ALLOWED: 27 SUBSTITUTIONS

PROPOSED: 9 SUBSTITUTIONS
- 4 ACCENT TREES (2:1 RATIO)
- 7 PALM TREES (1:1 RATIO)

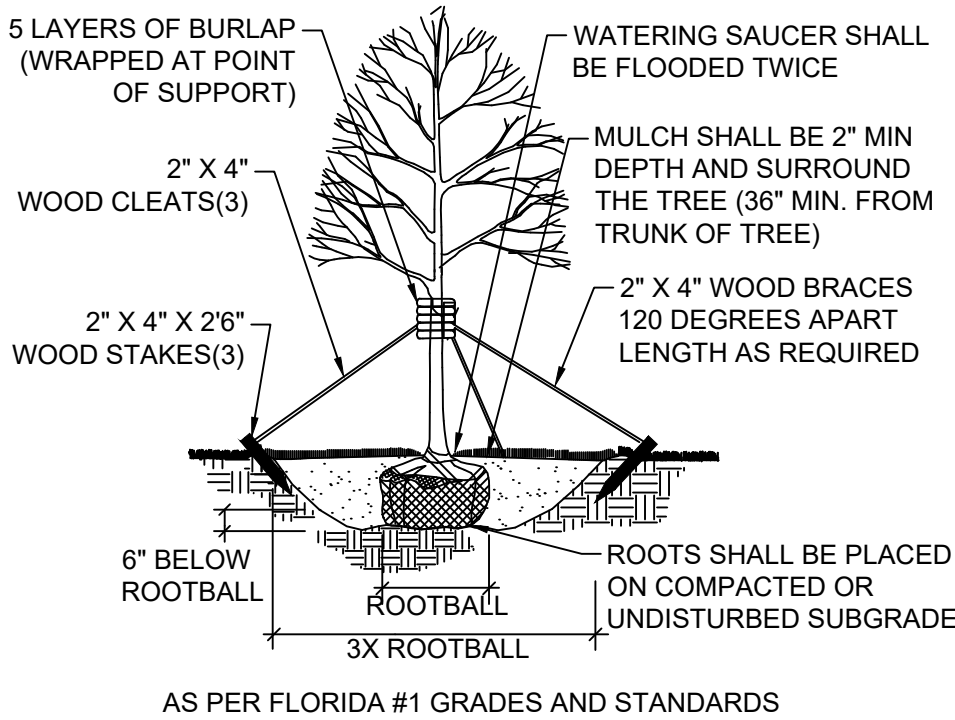
NATIVE VARIETY:

TREES - REQ'D.: 50% NATIVE MIN.
PROVD.: 100% NATIVE

SHRUBS - REQ'D.: 30% NATIVE MIN.
PROVD.: 100% NATIVE

LANDSCAPE NOTES:

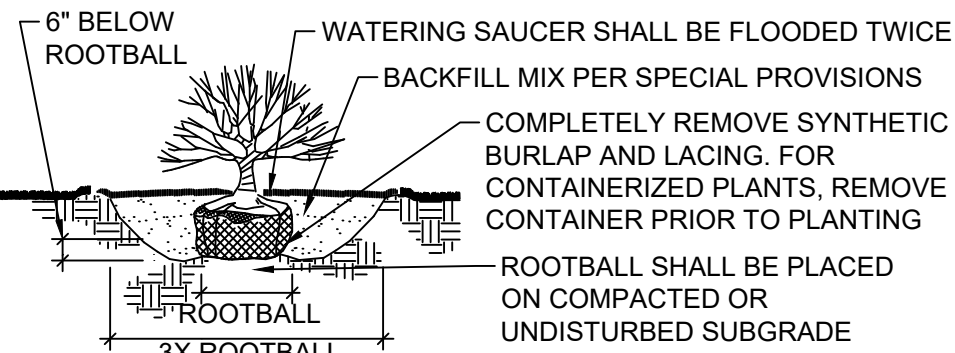
- REFER TO DEMOLITION PLAN (SHEET 3) FOR ANY TREES TO BE REMOVED.
- THERE SHALL BE 3' MINIMUM CLEARANCE FROM LANDSCAPE PLANTS TO THE EDGE OF THE METERS.
- ALL LANDSCAPING SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF CAPE CORAL ORDINANCES & DESIGN STANDARDS.
- ALL PROHIBITED EXOTIC PLANTS AND SHRUBS SHALL BE REMOVED FROM THE DEVELOPMENT SITE, IN ITS ENTIRETY PER LDC SECTION §5.5.9.
- METHODS FOR REMOVAL & CONTROL OF INVASIVE AND/OR EXOTIC PROHIBITED PLANT SPECIES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: - PULLING & DIGGING - SUFFOCATION - CUTTING OR MOWING - CHEMICAL CONTROL METHODS
- THE CONTRACTOR SHALL SOD ALL DISTURBED AREA, AS WELL AS, AREAS NOT LANDSCAPED. EACH CANOPY, ACCENT AND PALM TREE MUST HAVE ORGANIC MULCH NO LESS THAN 36" BEYOND ITS TRUNK IN ALL DIRECTIONS PER LDC SECTION §5.5.13.E.2
- ACCEPTABLE ROOT BARRIER (BIO BARRIER) MATERIAL TO BE INSTALLED WHEN A CANOPY TREE IS PLANTED WITHIN 7 FT FROM ROADWAY, SIDEWALK OR PUBLIC UTILITY.
- VERIFY THE LOCATIONS OF EXISTING TREES, LAWNS, AND SHRUBS. REMOVE EXTRANEOUS MATERIALS SUCH AS ROCKS, BRANCHES, BUILDING MATERIALS OR UNACCEPTABLE SOIL PRIOR TO PLANTING SOD, TREES, AND SHRUBS.
- CONTRACTOR SHALL BECOME ACQUAINTED WITH THE RELATED PAVING, SITE GRADING, AND ALL UTILITIES TO PRECLUDE ANY MISUNDERSTANDINGS AND ENSURE A TROUBLE FREE INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF PREMISES AND REMOVAL OF ALL DISCARDED AND SURPLUS MATERIALS, AND RUBBISH.
- THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, AND PIPES MAY NOT BE AS INDICATED ON DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THESE ITEMS AND SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICE WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
- ALL PLANTS, TREES & SHRUBS SHALL BE FLORIDA NO.1 OR BETTER AS DESCRIBED IN "GRADES AND STANDARDS FOR NURSERY PLANTS" 1975, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- NO CANOPY TREES OR PALM TREES SHALL BE PLANTED CLOSER TO AN OVERHEAD TRANSMISSION OR DISTRIBUTION LINE THAN AS SPECIFIED BY THE MINIMUM SEPARATION DISTANCE BETWEEN CENTER OF TREES AND OVERHEAD TRANSMISSION OR DISTRIBUTION LINES INDICATED IN LDC SECTION §5.5.7. TABLES A & B.
- ALL SHADE TREES SHALL HAVE A MINIMUM HEIGHT OF (10) TEN FEET AT PLANTING AND SHALL HAVE A MINIMUM DIAMETER OF TWO (2") INCHES WHEN MEASURED AT A HEIGHT OF TWELVE (12") INCHES FROM THE GROUND.
- ALL SHRUBS (7 GAL.) SHALL BE 36" MINIMUM PLANTED HEIGHT UNLESS OTHERWISE DESIGNATED ON THE PLANS. CLEAR ZONE PLANTINGS MAY INCLUDE SHRUBS NOT TALLER THAN 30".
- SITE WILL BE REQUIRED TO ADHERE TO LAND USE REGULATION 5.2 E - RETENTION/DETENTION AREAS I.E. TREES AND SHRUBS MUST NOT INTERFERE WITH THE VOLUME OF STORMWATER STORAGE. TREES AND SHRUBS MUST NOT INTERFERE WITH OR IMPEDE THE FLOW OF RUNOFF. RETENTION/DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLANS APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED IN OR ADJOINING RETENTION/DETENTION AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TREES AND SOD FOR A PERIOD OF 90 DAYS AFTER THE LANDSCAPING IS COMPLETED AND ACCEPTED. ANY PLANTINGS THAT PERISH WITHIN THIS 90 DAY PERIOD SHALL BE REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.



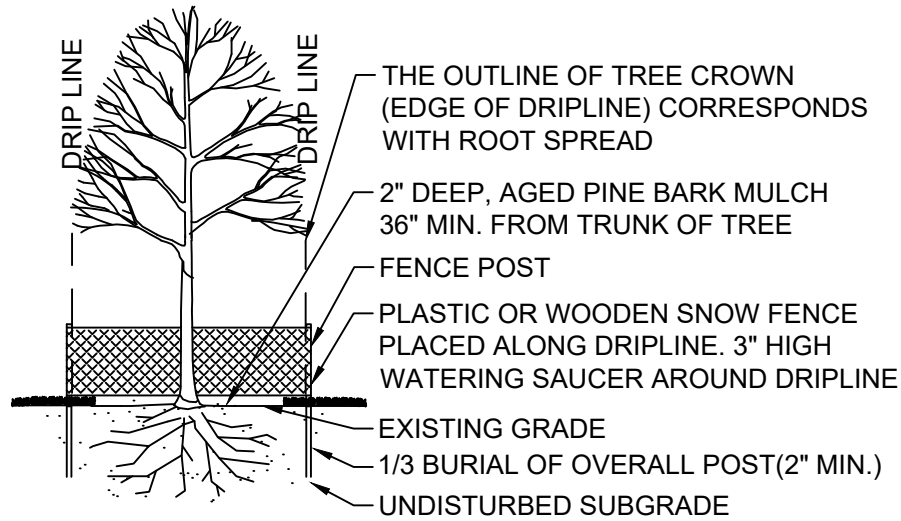
DECIDUOUS TREE PLANTING

RAISE AND REPLANT ANY SHRUBS WHICH SETTLE MORE THAN 50mm AFTER PLANTING & WATERING IN. SHRUBS SHALL BE SET PLUMB. WATER BY FLOODING TWICE IN THE FIRST TWO HOURS AFTER PLANTING. WATER & MAINTAIN AS PER STANDARD SPECIFICATIONS.

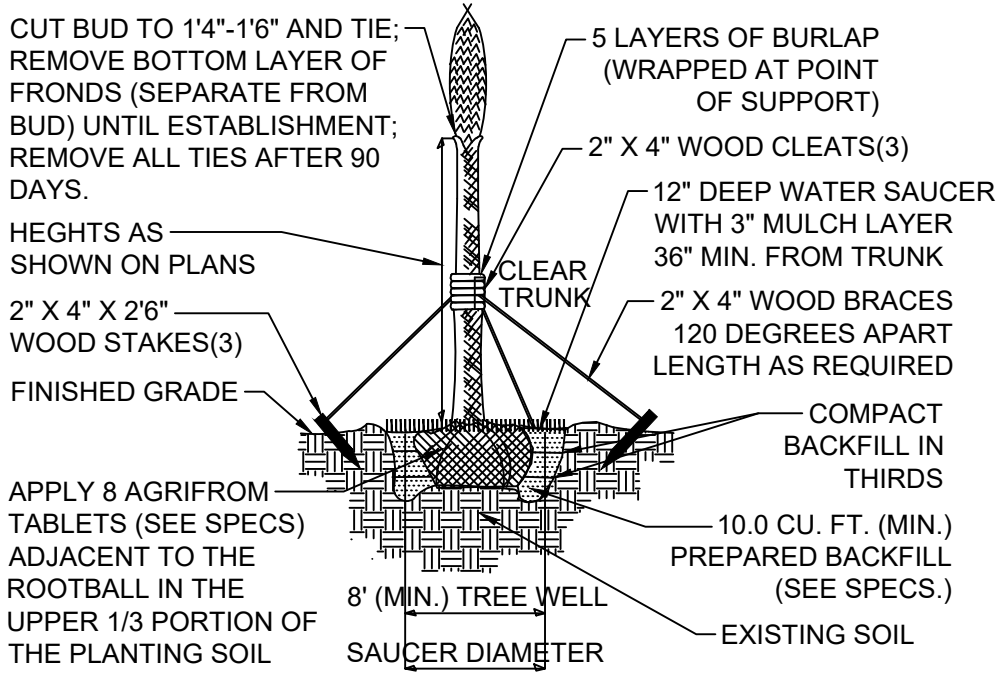
EXCAVATE TO REQUIRED DEPTH AND BACKFILL WITH PLANTING MIX. SHRUB SHALL BE PLANTED SO THAT CROWN IS 50mm MIN. ABOVE FINISHED GRADE AFTER SETTLEMENT.



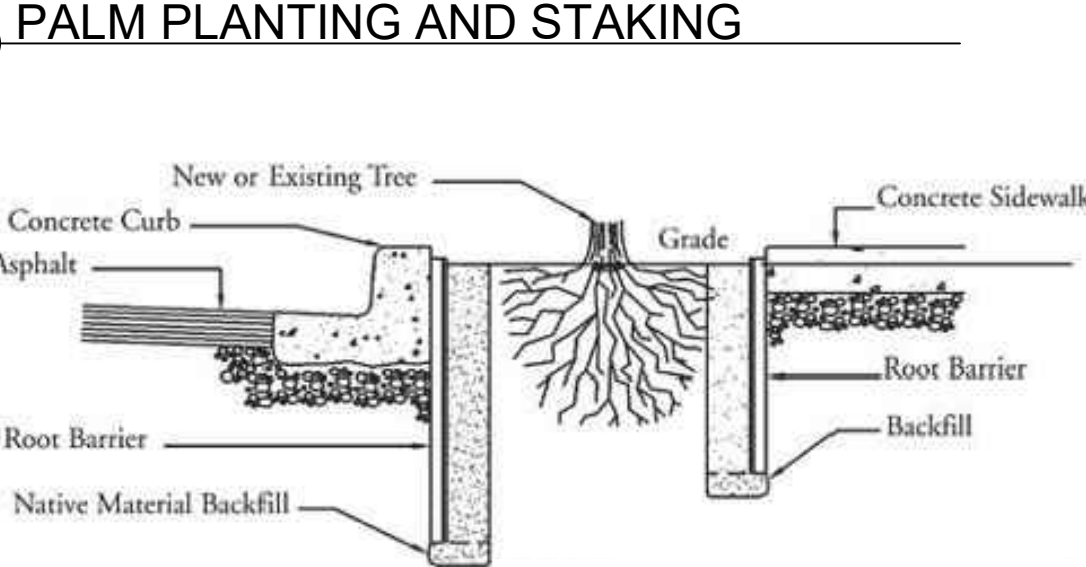
SHRUB PLANTING



TREE PROTECTION



PALM PLANTING AND STAKING



TREE ROOT BARRIER DETAIL



VIENTO LED WALL PACK VNTW 3500 - 11000L



FEATURES

- Uniform light distribution, ideal for building facades, entry ways, sidewalks and general security or accent lighting.
- LED provides a significant energy savings over HID.
- Operating temperature: -40°C to +40°C (-40°F to +104°F)
- Custom colors are available (consult factory).
- Designed for ease of installation.

OPTICS

- Optical grade polymer is UV stabilized and impact resistant.
- IP66 rated LED light engines prevent dust and moisture from degrading performance.
- Distributions: Type II Short, Type II Medium, Type II Medium and Type IV Short.
- Best in class Luminaire LEDs with 3000K (min 80 CRI), 4000K, and 5000K CCT (min 70 CRI).
- Lumen Maintenance: >100,000hrs L70 @ 25°C.
- Precision molded optics for superior uniformity, minimal light trespass and maximum spacing.
- Zero uplight (0U) is night sky friendly, reduces wasted light.

WARRANTY

- Backed by XtraLight's industry leading 10 year warranty.

ORDER LOGIC

SAMPLE CATALOG NUMBER: VNTW-8000L-40K-DIM-2M-BZ									
VNTW	MODEL	CCT	DRIVER	OPTICS	FINISH	CONTROLS & OPTIONS			
	3500L	30K 3000K	20-277V	25 Type II Short	WH White	EM17 Emergency Battery Back-up			
	5500L	40K 4000K	20-277V	2M Type II Medium	BZ Bronze	CEM1 Cold Weather Emergency Battery Back-up			
	8000L	50K 5000K	48D Dimmable	3M Type III Medium		FSP2 Programmable Occupancy Sensor, 201/407D			
	11000L		347-480V	45 Type IV Short		FSP3 Programmable Occupancy Sensor, 201/407D			
						PC Protocol, Button, 120-277V			

1. EM not available with 11000L. Maximum operating temperature with EM for 3500L (40°C/104°F), 5500L (35°C/95°F), 8000L (30°C/86°F).

2. Minimum temperature for EM (20°C/32°F).

3. Minimum temperature for CEM (20°C/32°F).

VNTW-3500,11000L www.xtralight.com • (800) 678-6960 • customerservice@xtralight.com

191803 All information is believed to be accurate at the time of publication. Please contact customer service or visit www.xtralight.com for the most updated product specifications. XtraLight® reserves the right to change specifications without notice.



VIENTO AREA LUMINAIRE



FEATURES

- Lumen packages ranging from 5000L to 55000L.
- Outstanding photometric performance results in excellent uniformity, optimal pole spacing and lower power density.
- Low profile architectural design offers a contemporary appearance with excellent light output.
- Enhanced foot candles delivered utilizing multiple optical options.
- Full cut-off optics with zero uplight.

CONTROLS

- Programmable smart sensor and twist-lock receptacle control options available.

ORDER LOGIC

SAMPLE CATALOG NUMBER: VNTL-55000L-50K-DIM-5SN-BZ									
VNT	SIZE	MODEL	CCT	DRIVER	OPTICS	ORIENTATION	FINISH	CONTROLS	OPTIONS
S Small	5000L	50K 3000K	DIM	Dim 0-10V, 2M	Type II Normal	BZ Bronze	XX No Fixture Controls	HSS House-side Shield	
	10000L	40K 4000K	DIM	Dim 0-10V, 3M	Type II Normal (forward)	WH White	B5F Bluetooth Smart Sensor, 201H/407D	ASP Adjustable Slip Fitter Cord Whip	
	15000L	50K 5000K	DIM	Dim 0-10V, 3M	Type III Left	CC Custom Color			
	20000L								
M Medium	15000L								
	20000L								
	25000L								
	30000L								
L Large	35000L								
	40000L								
	45000L								
	50000L								

1. Custom CCT available from 2700K - 6500K.

2. Some models may not be available with 0-10V (Dim to off).

3. The SS (Type V Square) optic option is not available with L (Left) or R (Right) orientations.

4. The ASP (Adjustable Slip Fitter Cord Whip) must be paired with the Adjustable Slip Fitter accessory (sold separately).

5. Sensor integrated in bottom fixture. (See dimensional drawing).

6. The ASP (Adjustable Slip Fitter Cord Whip) must be paired with the Adjustable Slip Fitter accessory (sold separately).

7. Protocol ordered separately. (See page 6).

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XtraLight® reserves the right to change specifications without notice.

PROJECT INFORMATION

Project Name	Type
Catalog #	Date

APPLICATIONS

- Building Facades
- Entry Ways
- Sidewalks
- Security Lighting
- Accent Lighting
- General Exterior Lighting

APPROVALS

- ETL listed. Complies with UL1598 and CSA 22.2
- Suitable for Wet Locations.
- Select models DLC Qualified. For a complete list of DLC Qualified products, please visit: <http://www.xtralight.com/dlc> or www.designlights.org/dlc

PRODUCT PERFORMANCE (TYPE 25 OPTICS SHOWN)

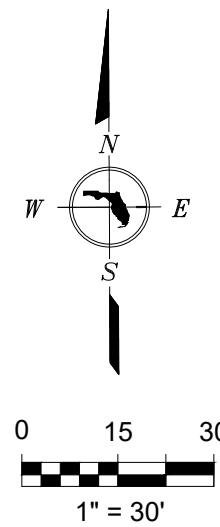
MODEL	CCT	WATTS	LUMENS	EFFICIENCY
3500L	4000K	27.6	3798	137.7
5500L	4000K	55.26	6490	117.4
8000L	4000K	79.0	9166	116.1
11000L	4000K	92.72	10071	108.6

CONSTRUCTION

- Housing: Two-piece die-cast aluminum has integral heat sink fins to optimize thermal management through conductive and convective cooling.
- Housing and back box are protected with a thermoset TGIC-polyester powder coat finish.
- The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life.
- Silicone gasket is included to prevent leakage and provide weather-light protection.
- All fasteners are stainless steel.

ELECTRICAL

- Voltage: 120-277V 50/60Hz driver (standard); 347-480V 50/60Hz driver (optional).
- Class 2 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate.
- Dimming: 0-10v dimmable driver standard.
- Passive Infrared (PIR) Photo/Motion Sensor optional.
- Emergency battery backup option (EM) is available for some models. CEM suited for cold weather, has external test button and LED indicator light to notify when the heater is on.
- 20kA surge protection standard.



S.W. 4TH TERRACE

S.W. 2TH TERRACE

ZONING: CC VACANT

PROPOSED VIENTO WALL MOUNTED LIGHT FIXTURES. MOUNT HEIGHT: 16'

ZONING: CC VACANT

PROPOSED VIENTO WALL MOUNTED LIGHT FIXTURES. MOUNT HEIGHT: 16'

PROPOSED VIENTO POLE MOUNTED LIGHT FIXTURE. MOUNT HEIGHT: 16'

ZONING: CC VACANT

PROPOSED VIENTO POLE MOUNTED LIGHT FIXTURES. MOUNT HEIGHT: 18'

PROPOSED VIENTO POLE MOUNTED LIGHT FIXTURE. MOUNT HEIGHT: 16'

PROPOSED VIENTO WALL MOUNTED LIGHT FIXTURES. MOUNT HEIGHT: 16'

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.19	0.5	0.0	N.A.	N.A.
Site Calc	Illuminance	Fc	1.63	4.9	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	2.36	4.5	0.5	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
A	14	VNTW-5500L-40K-DIM-4M	Single	VNTW-5500L-40K-DIM-4M	1.000	5554	35	490
B	2	VNTW-3000L-40K-DIM-4M	Single	VNTW-3000L-40K-DIM-4M	1.000	3153	19.4	38.8
C	3	VNTS-5000L-40K-DIM-4M-HSS	Single	VNTW-5000L-40K-DIM-4M-HSS	1.000	3514	36	108
D	3	VNTS-5000L-40K-DIM-3M-HSS	Single	VNTW-5000L-40K-DIM-3M-HSS	1.000	3526	36	108

APPROVAL SUBMITTAL PLANS FOR CONSTRUCTION

SITE DATA TABLE

SITE ADDRESS(S):	818/824 CEITUS TERRACE CAPE CORAL, FL 33991
SITE AREA:	60,095 SF (±1.38 AC)
FUTURE LAND USE:	(PIRD)
ZONING DESIGNATION:	(CC)
MAX BUILDING HEIGHT:	45'
FEMA ZONE:	FLOOD ZONE "X"
STRAP NUMBER:	15-44-23-C2-03619.0300
FOLIO NUMBER:	10633945

LIGHTING NOTES:

- NO SUBSTITUTIONS ON XTRALIGHT PRODUCTS SHOWN
- CONTACT FOR "AS SPECIFIED" PROJECT QUOTE.
KEN IRWIN: KIRWIN@CLSFL.COM 727-967-4208 OR,
JEFF VINACHI: JVINACHI@CLSFL.COM 727-638-9349

- THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR AGENT RESPONSIBLE FOR THE PROJECT.

- LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

- CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

- BORAL ENGINEERING & DESIGN, INC. IS NOT RESPONSIBLE FOR THE PHOTOMETRIC CALCULATIONS SHOWN ON THIS SITE LIGHTING PLAN. LAMP LUMENS, UNIFORMITY RATIOS AND FOOT CANDLES CALCULATIONS ON THIS SITE LIGHTING PLAN HAVE BEEN PROVIDED BY THE LIGHTING MANUFACTURER.

- ANY EXTERIOR LIGHTING SHALL BE DIRECTED TO THE INTERIOR OF THE PARCEL. OUTDOOR LIGHTING OR FIXTURES ON POLES, BUILDINGS AND ELSEWHERE OUTSIDE, SHALL HAVE FULL-HORIZONTAL CUT OFF OPTICS. ALL OUTDOOR LIGHTING SHALL CONFORM TO SITE LIGHTING STANDARDS INCLUDED IN SECTION 806 OF THE LAND DEVELOPMENT CODE.

- AUTOMATIC SWITCHING REQUIREMENTS PER LDC §5.6.2.F CONTROLS SHALL BE PROVIDED THAT AUTOMATICALLY EXTINGUISH ALL OUTDOOR LIGHTING WHEN SUFFICIENT DAYLIGHT IS AVAILABLE USING A CONTROL DEVICE OR SYSTEM SUCH AS A PHOTOELECTRIC SWITCH, ASTRONOMIC TIME SWITCH, OR EQUIVALENT FUNCTIONS FROM A PROGRAMMABLE LIGHTING CONTROLLER, BUILDING AUTOMATION SYSTEM, OR LIGHTING ENERGY MANAGEMENT SYSTEM, ALL WITH BATTERY OR SIMILAR BACKUP POWER OR DEVICE.

CALL 48 HOURS
BEFORE YOU DIG



IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NOTE:

ALL EXISTING (SURVEY) AND PROPOSED GRADE ELEVATIONS SHOWN REFER TO N.G.V.D. '29.

THESE PLANS MAY HAVE BEEN INCREASED OR REDUCED IN SIZE BY REPRODUCTION(S). THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

PROJECT: 23-140
DATE: 02/24

ANDRES BORAL, PE, MEA
LICENSE # 80373, FBPE # 31552
711 5TH AVE SOUTH, SUITE 209, NAPLES FL 34102
ANDRES@BORALENGINEERING.COM
(P) 238-692-0599

BORAL
ENGINEERING
WWW.BORALENGINEERING.COM

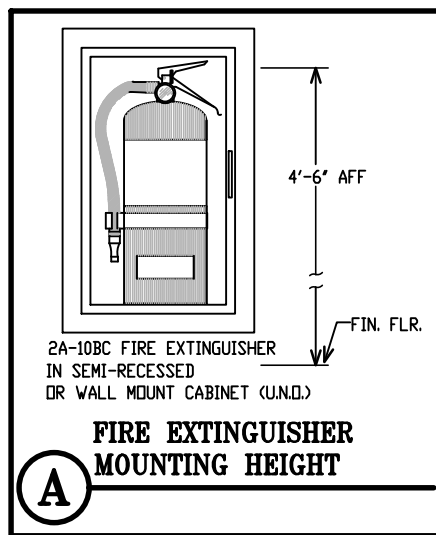
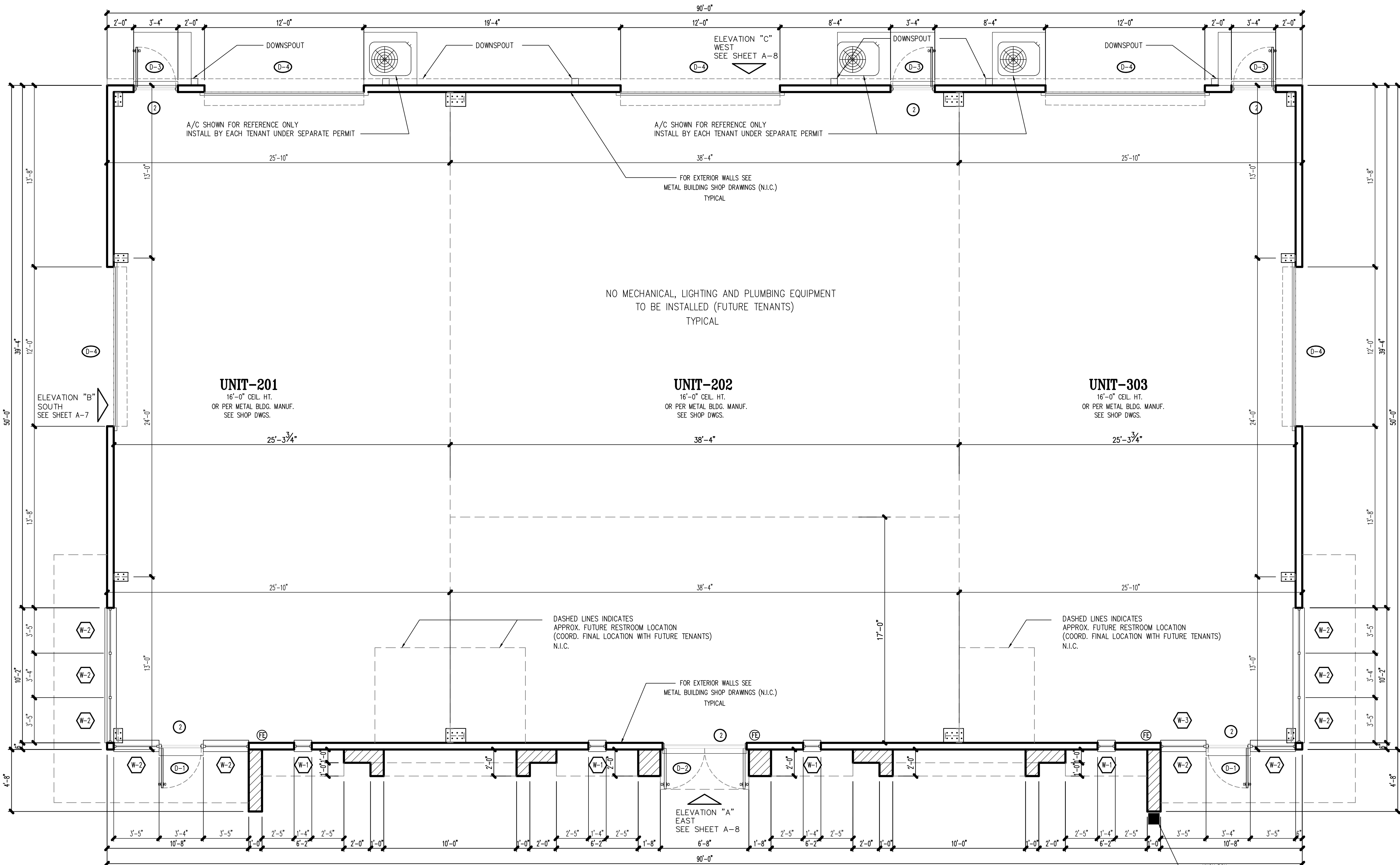
OWNER:
BORAL INDUSTRIES INC.
2000 S.W. 3800 ST
CAPE CORAL, FL 33914

REVISION DESCRIPTION
BY
DATE
10/13/2025
REVISED PER CITY OF CAPE CORAL, RAJ #1

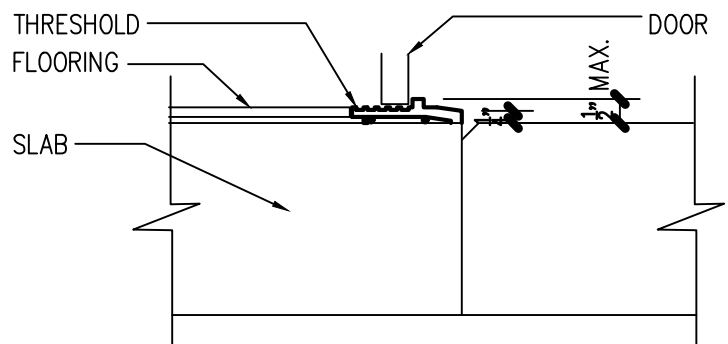
CEITUS TERRACE
TRAILER REPAIR &
FLEX SPACE
CAPE CORAL, FL 33991

LIGHTING PLAN

SHEET
13 OF 13



(FE) SEMI-RECESSED OR WALL MOUNT FIRE EXTINGUISHER (2A-10BC)-SEE DET. A/A-4 (U.N.O.)



NOTE: ELEVATION OF THE FLOOR SURFACES ON BOTH SIDES OF A DOOR OPENING SHALL NOT VARY BY MORE THAN 1/2 INCH

(B) H.C. THRESHOLD DET.

ELEVATION "D" NORTH SEE SHEET A-7

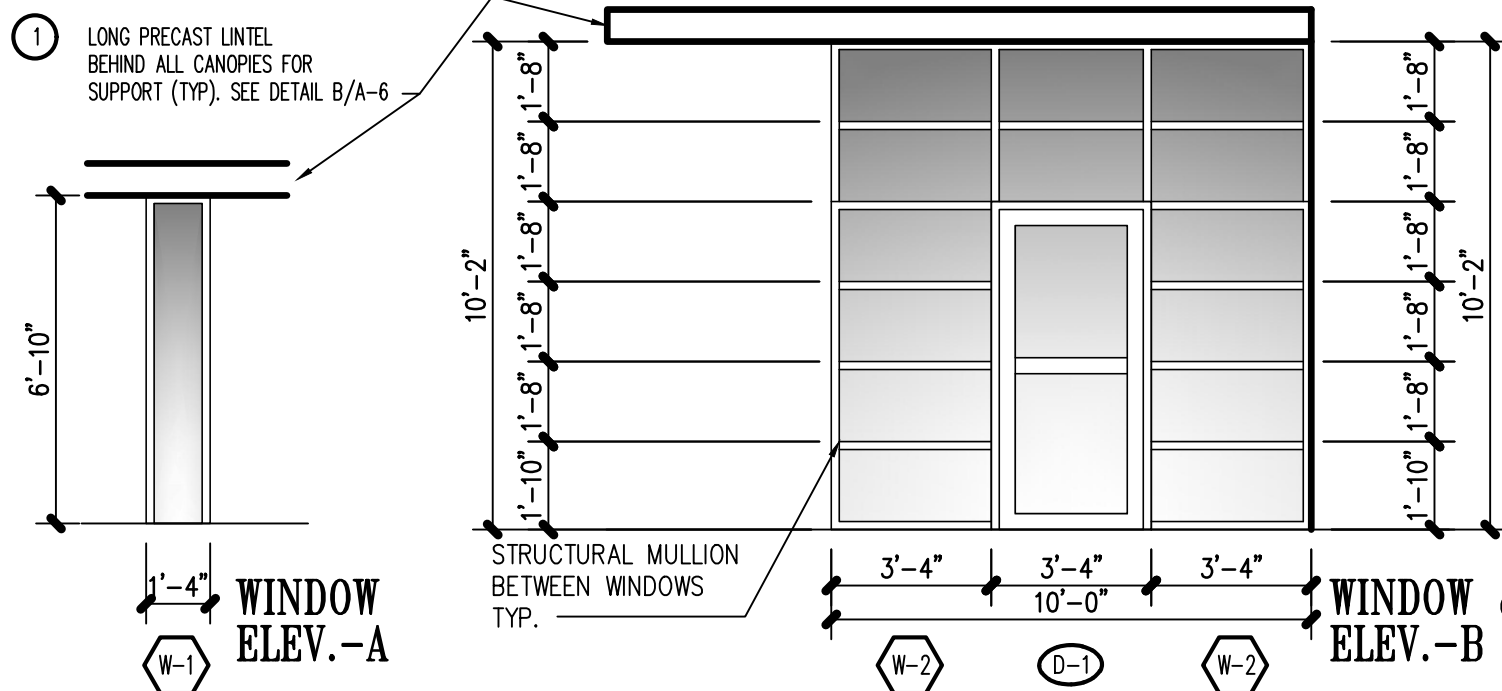
FLOOR PLAN - TRAILER REPAIR

DOOR SCHEDULE							
DOOR NO.	LOCATION	DOOR TYPE	SIZES WxH	FINISH	FRAME	WIND AREA	+/- PRESSURES
EXTERIOR DOORS							
D-1	101, 103	FRENCH STYLE	3'-0" X 6'-8"	BY MANUF.	PRE-HUNG	20.0'	+24.8 -27.1
D-2	102	FRENCH STYLE	2'13'-0" X 6'-8"	BY MANUF.	PRE-HUNG	40.0'	+24.8 -27.1
D-3	101, 102, 103	SOLID DOOR	3'-0" X 6'-8"	BY MANUF.	PRE-HUNG	24.0'	+24.8 -27.1
D-4	101, 102, 103	ROLLED UP DR.	12'-0" X 14'-0"	BY MANUF.		168.0'	+25.6 -28.1
INTERIOR DOOR							

WINDOW SCHEDULE							
WDW. NO.	LOCATION	WINDOW TYPE	SIZES WxH	FINISH	FRAME	WIND AREA	+/- PRESSURES
EXTERIOR DOORS							
W-1	ALL UNITS	FIXED GLASS	1'-4" X 6'-10"	BY MANUF.		9.1'	+27.6 -30.0
W-2	101, 103	FIXED GLASS	3'-4" X 10'-2"	BY MANUF.		33.8'	+24.8 -27.1
W-3	101, 103	FIXED GLASS	3'-4" X 3'-3"	BY MANUF.		33.8'	+24.8 -27.1
NOTES							

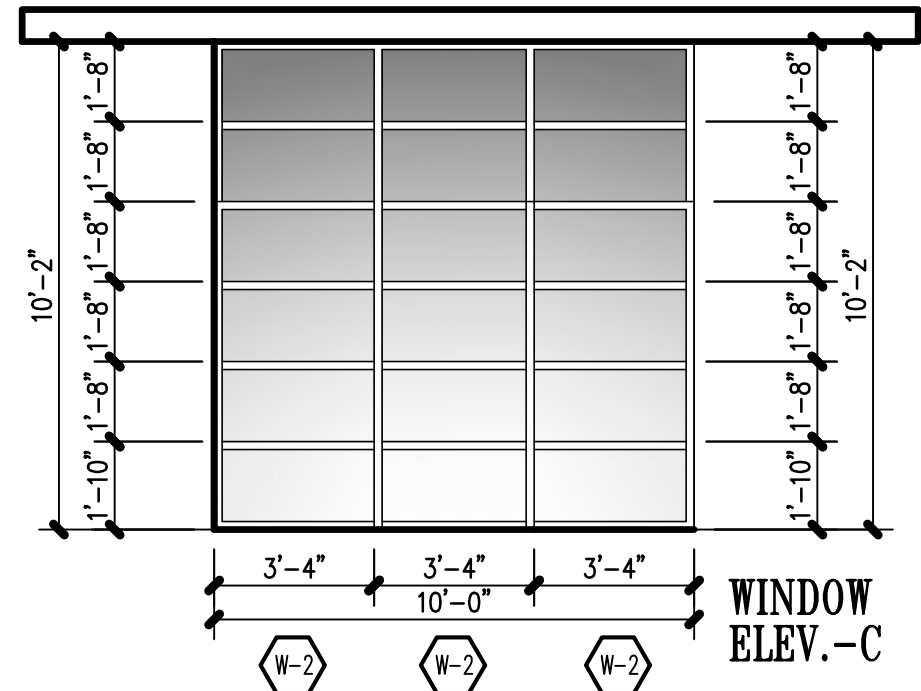
SEE DOORS SPECIFICATIONS FOR ADDITIONAL INFORMATION
-CONTRACTOR SHALL COORDINATE ALL DOOR SIZES PRIOR TO FABRICATION (FIELD VERIFY)
-FOR DOORS AND WINDOWS CONNECTIONS SEE METAL BUILDING SHOP DRAWINGS
-ALL SHOWN DIMENSIONS ARE APPROXIMATE
-DOOR SWING MAY VARY, SEE FLOOR PLAN FOR ORIENTATION
DOOR OPENING FORCE:
THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS (22N). THESE FORCE DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISengage OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION. FOR OTHER SWINGING DOORS AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND (67N) FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 POUND (133N) FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15 POUND (67N) FORCE.

(1) LONG PRECAST LINTEL BEHIND ALL CANOPIES FOR SUPPORT (TYP). SEE DETAIL B/A-6



(2) H.C. DOOR THRESHOLD (SEE DET. B/A-4)
6" 18 GA. MIN. METAL STUDS AT 12" O.C. MAX FASTENED TO METAL BUILDING MAIN FRAME. SEE METAL BUILDING SHOP DWGS. FOR DETAILS
(FE) SEMI-RECESSED OR WALL MOUNT FIRE EXTINGUISHER (2A-10BC)-SEE DET. A/A-4 (U.N.O.)

3. FIRE RATED DOOR HARDWARE:
BRAND: HARNEY HARDWARE
MODEL: COMMERCIAL DOOR LEVER SET-WGLANT COLLECTION
FINISH: SATIN NICKEL
MODEL NO.: SAT STYLE HANDLE
MODEL NO.: SAT STYLE HANDLE
FIRE RATED: UL10C 3 HOUR FIRE RATED.



NOTES
-CONTRACTOR SHALL COORDINATE ALL OPENINGS WITH SELECTED WINDOWS AND DOORS MANUF.
-ALL WOOD IN CONTACT WITH CONCRETE OR METAL SHALL BE PRESSURE TREATED WOOD.
-ALARM SYSTEM (OPTIONAL)-CONTRACTOR SHALL PROVIDE ALLOWANCE
-ALL LIGHT FIXTURES AND DOOR HARDWARE SELECTED BY OWNER (CONTRACTOR SHALL PROVIDE ALLOWANCE)
-ALL WINDOW BLOCKS SHALL BE 1 1/4" P.T. WOOD
-PRECAST LINTEL OVER EXTERIOR DOORS AND WINDOWS AS NEEDED-FIELD VERIFY (8'8"-10')-SEE STRUCT. DWG
-PROVIDE 2x4 BACKING SUPPORT FOR ALL HANDICAP GRAB BAR OR AS NEEDED.
-THE FOLLOWING ITEMS ARE NOT GULF COAST ENGINEERING, LLC RESPONSIBILITY:
SURVEY
BORING OR SOIL REPORTS
SEPTIC TANK SYSTEM AND DRAIN FIELD STUDIES
TRUSS DRAWINGS AND TIPS
ENERGY CALCULATIONS
-IS CONTRACTORS RESPONSIBILITY TO REVIEW ALL DRAWINGS AND CONFIRM ALL SHOWN DETAILS ARE PER OWNER REQUEST PRIOR TO CONSTRUCTION
-IF OWNER OR CONTRACTOR FAILS TO REPORT ANY DISCREPANCY ON THE DRAWINGS OR DESIGN, DESIGNER AND ENGINEER OF RECORD WILL BE RELEASE FROM ANY COMPLAINT AND CONTRACTOR OR OWNER WILL ASSUME FULL RESPONSIBILITY

ENGINEER SEAL

DO NOT SCALE DRAWINGS, USE GIVEN DIMENSION REPORT. ANY DISCREPANCIES ON THE DOCUMENTS REPORT TO THE ENGINEER OF RECORD OR CONSTRUCTION SUPERINTENDENT ON WRITING BEFORE PROCEEDING WITH ANY WORK. IF CONTRACTOR FAILS TO REPORT, ENGINEER OF RECORD AND DESIGNER WILL BE RELEASE OF ANY COMPLAINT AND OWNER OR CONTRACTOR WILL ASSUME FULL RESPONSIBILITY. THESE PLANS ARE IN COMPLIANCE WITH THE LATEST FLORIDA BUILDING CODE EDITION

REPRODUCTION OR TRANSMISSION OF ANY PART OF THE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF GULF COAST ENGINEERING, LLC IS PROHIBITED. FOR PERMISSION OF REUSE OR REPRODUCTION, CONTACT GULF COAST ENGINEERING, LLC. 3002 DEL PRADO BOULEVARD SOUTH, SUITE 101, CAPE CORAL, FL 33904. (239) 458-6633. WWW.GULFCOASTENGINEERING.COM

PROJECT: **Gustavo A. Roman**
PROJECT MANAGER: (239) 677 5778
e-mail: gustavoroman@yahoo.com
CONTRACTOR/DEVELOPER:

PROJ No: 04-15-24
FILE: Aubuchon Celtus Flex Bldg
DRAWN: G.A.R.
CHECKED:
DATE: 06-15-24
REVISIONS
DATE
BY

GulfCoast Engineering, LLC
3002 Del Prado Boulevard South Cape Coral, Florida 33904
e-mail: www.gcefl.com

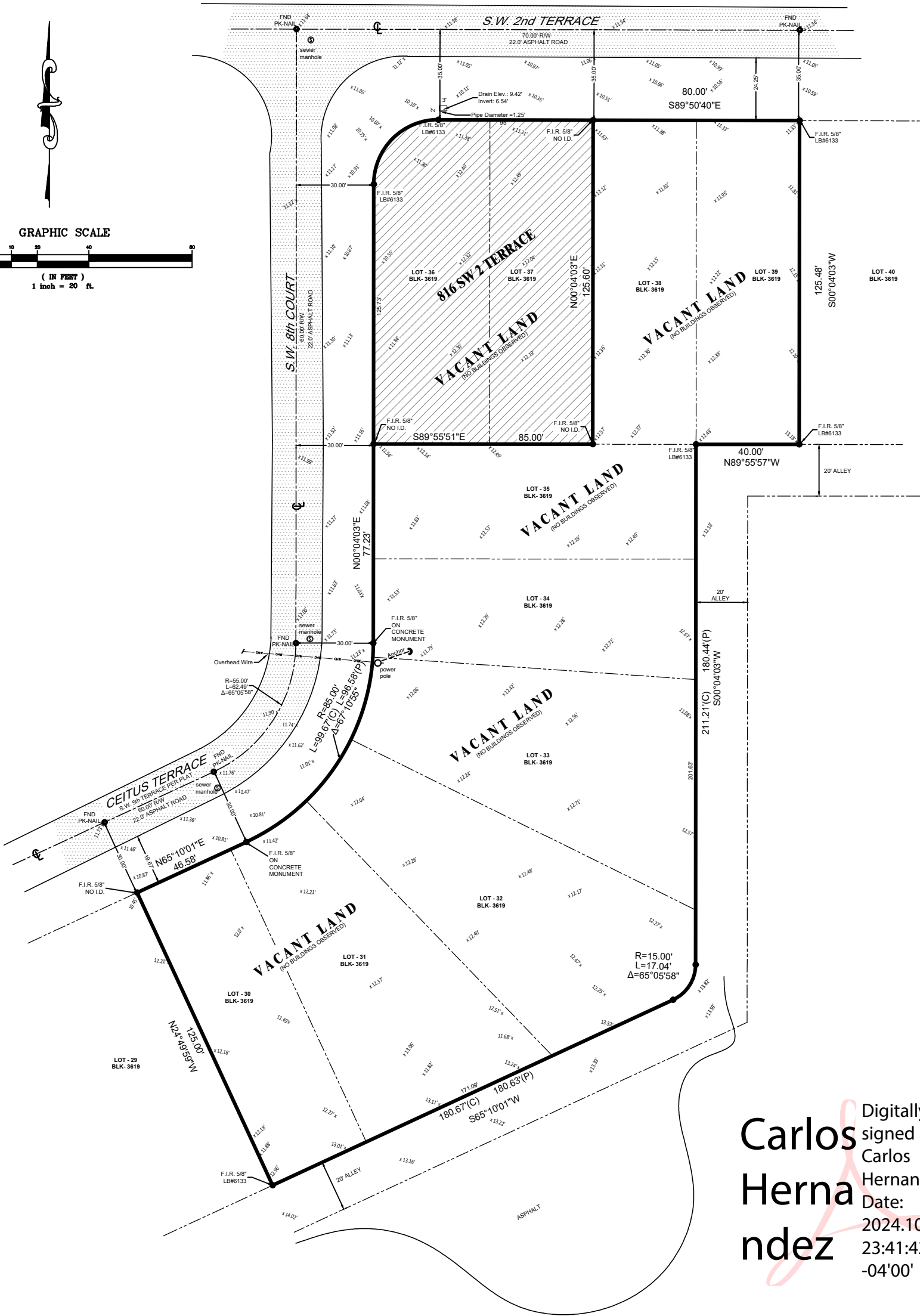
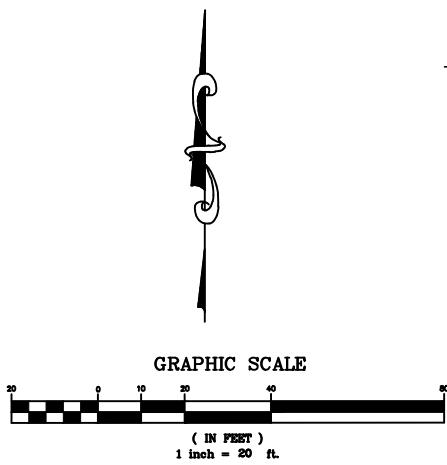
SEAL
A/E
BRAND LOY CHANDLER
LICENSE NO. 72152
C.O.A. NO. 9910

PROJECT: **Crakat Inc. - Building 2**
822/828 Celtus Terrace
Cape Coral
FLORIDA

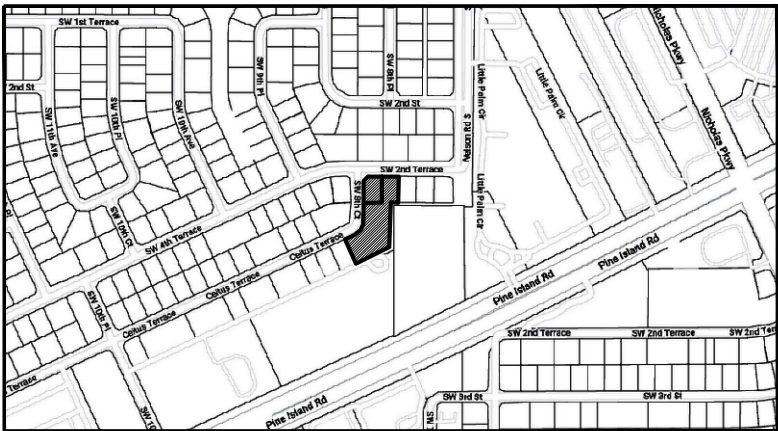
A-4
04 OF 11

SKETCH OF SURVEY SCALE: 1" = 20'

FLORIDA BUILDING & LAND SURVEYING CORP.
Phone/Fax: (877) 894-8001 PROUDLY SERVING FLORIDA COAST TO COAST 12555 BISCAYNE BOULEVARD # 934,
www.FloridaLandSurveying.com NORTH MIAMI, FLORIDA 33181



Digitally signed by
Carlos Hernandez
Date: 2024.10.31 23:41:42 -04'00'



LOCATION SKETCH
SCALE 1" = NOT TO SCALE

LEGAL DESCRIPTION:

Lots 30 through 39, Block 3619, Cape Coral Subdivision, Unit 49, according to the map or plat thereof as recorded in Plat Book 17, Page 145, Public Records of Lee County, Florida.

FLOOD INFO:

COMMUNITY: LEE COUNTY
CITY OF CAPE CORAL : 125095
Map & Parcel #: 12071 C 0263
Suffic: G Date: 11/14/2022
Flood Zone: X Elevation: N/A

CERTIFIED TO:

CRAKAT INDUSTRIES INC

SURVEYOR'S NOTES:

- 1-OWNERSHIP IS SUBJECT TO OPINION OF TITLE
- 2-NO UNDERGROUND IMPROVEMENTS WERE LOCATED
- 3-ELEVATIONS ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (UNLESS ASSUMED)
- 4-THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN IN THIS SURVEY THAT MAY BE FOUND IN THE COUNTY PUBLIC RECORDS
- 5-LEGAL DESCRIPTION PROVIDED BY CLIENT
- 6-UNLESS OTHERWISE NOTED RECORDED AND MEASURED BEFORE ANY CONSTRUCTION THE SET BACKS MUST BE CHECKED
- 7-ALL FIELD MEASUREMENTS TAKEN FOR THIS SURVEY WERE MADE WITH ELECTRONIC TRANSIT AND/OR STEEL TAPE W/ACC. 1:7500
- 8-THIS SURVEY IS FOR USE AS PER REQUEST AND NOT FOR ANY OTHER PURPOSE
- 9-THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A PUBLIC RECORDS FOR TITLE INSURANCE
- 10-DATE OF FIELD WORK 3/16/2024

NOTE: THE FLOOD DATA PROVIDED IS FOR INFORMATION PURPOSES ONLY. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO THE LOCAL F.E.M.A. AGENCY SHOULD BE CONTACTED FOR VERIFICATION.

NOTE: THIS SURVEY IS FOR USE AS PER REQUEST AND NOT FOR ANY OTHER PURPOSE

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A PUBLIC RECORDS FOR TITLE INSURANCE

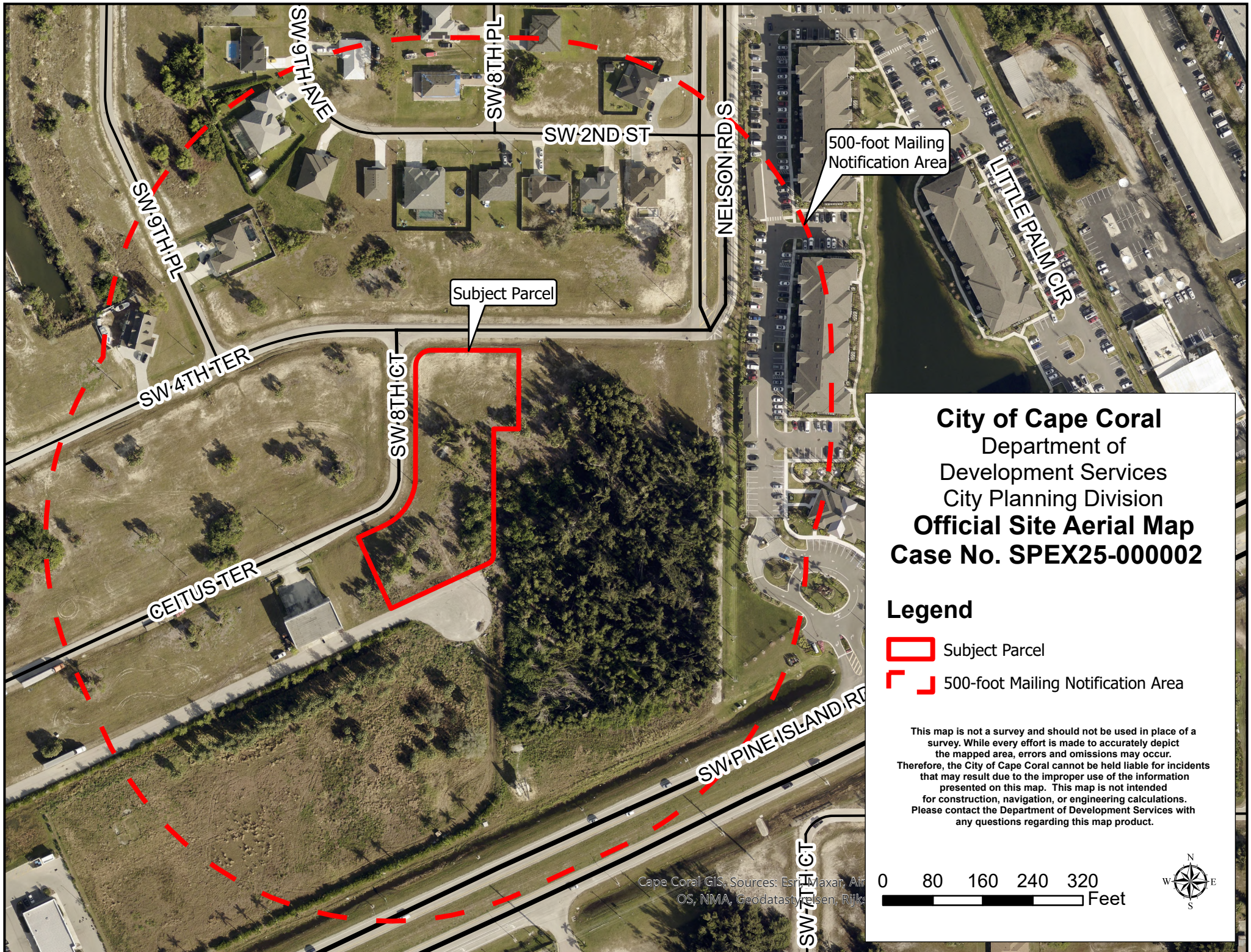
NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A PUBLIC RECORDS FOR TITLE INSURANCE

ADDRESS:
622/826 CEITUS TERRACE CAPE CORAL FL. 33991
814 SW 21ST TERRACE CAPE CORAL FL. 33991

LEGEND:
P.O.C. = Point of Commencement
P.O.B. = Point of Beginning
C.B.W. = Concrete Block Wall
P.U.M. = Pavement
C/P = Concrete Porch
F.I.P. = Found Iron Pipe
R.O.F. = Right of Way
A/C = Air Conditioner
P.L. = Property Line
P.O.L. = Point on Line
P. = Point
C.B.S. = Concrete Block Structure
C.B.S. = Concrete Block Structure
F.H. = Fire Hydrant
W/R = Wood Roof
P/R = Porch
P.O.C. = Point of Commencement
P.O.B. = Point of Beginning
C.B.W. = Concrete Block Wall
P.U.M. = Pavement
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C.B.S. = Concrete Block Structure
F.H. = Fire Hydrant
W/R = Wood Roof
P/R = Porch

CARLOS HERNANDEZ
PROFESSIONAL SURVEYOR AND MAPPER
LB 7619 8/15/2024
Survey is not valid without the signature and
dated/digital seal of the Florida Registered
Professional Land Surveyor and Mapper

The boundary survey of the property shown herein is in accordance with the description furnished by the client. No search of public records has been made by this office for accuracy or omissions. Subject to opinion title and any dedications, limitations, restrictions or easements of record. No underground improvements and/or utilities were located.
I hereby Certify: That the attached boundary survey of the property described herein is to the best of my knowledge and belief accurate as recently surveyed under my direction; also that there are no above ground encroachments other than those shown, and that this survey meets the minimum technical standards of practice set by the Florida Board of Land Surveyors as set forth in Section 472.027 (F.S.) Chapter 54-17.001 and 54-17.002 of the Florida Administrative Code.

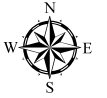
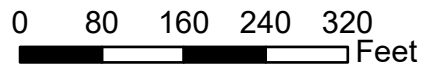


City of Cape Coral
Department of
Development Services
City Planning Division
Official Site Aerial Map
Case No. SPEX25-000002

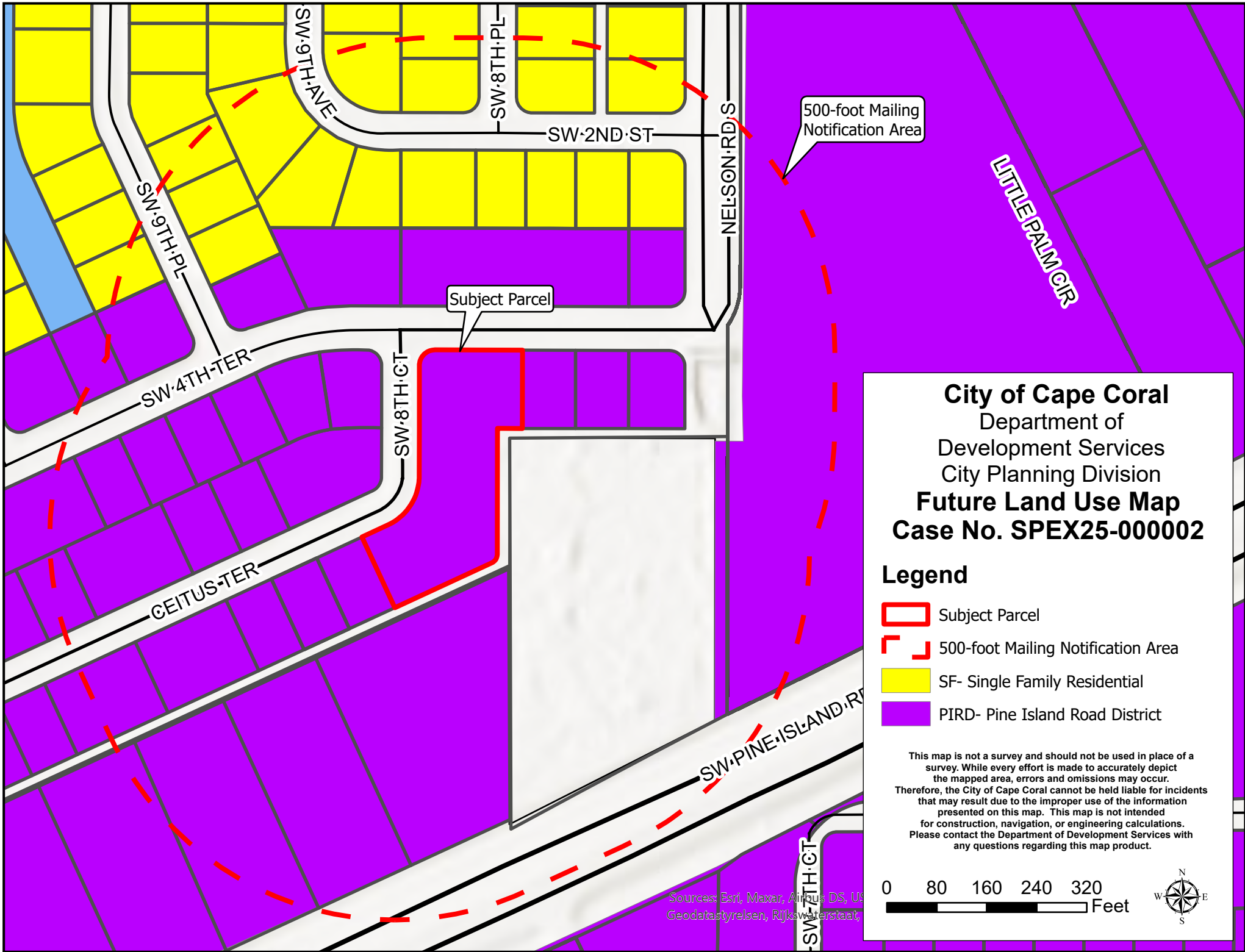
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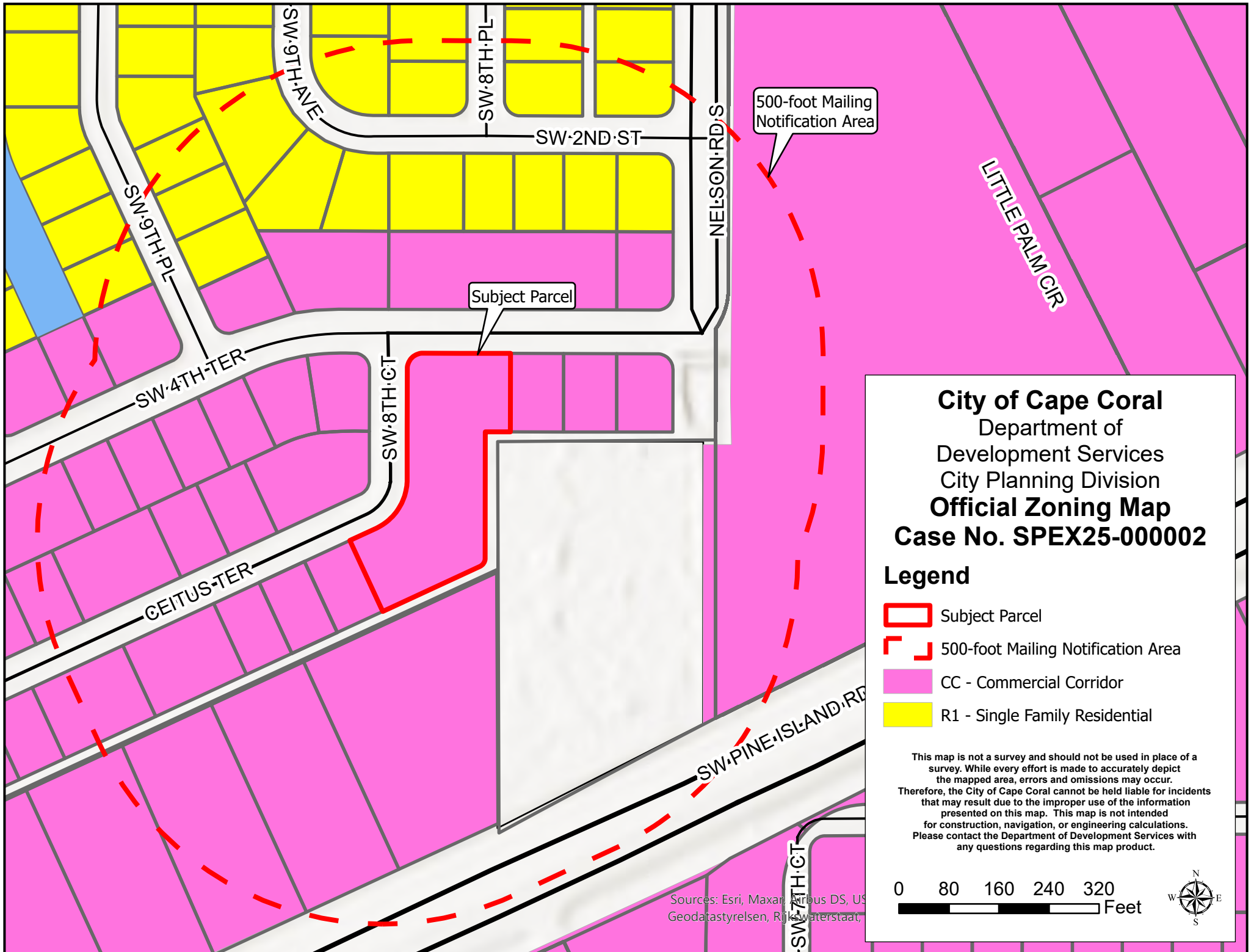
-  Subject Parcel
-  500-foot Mailing Notification Area

This map is not a survey and should not be used in place of a survey. While every effort is made to accurately depict the mapped area, errors and omissions may occur. Therefore, the City of Cape Coral cannot be held liable for incidents that may result due to the improper use of the information presented on this map. This map is not intended for construction, navigation, or engineering calculations. Please contact the Department of Development Services with any questions regarding this map product.







Cape Coral GIS, Sources: Esri, Maxar, Air OS, NMA, Geodatasys, Jensen, Rijk



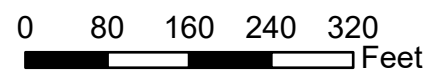


City of Cape Coral
Department of
Development Services
City Planning Division
Official Zoning Map
Case No. SPEX25-000002

Legend

-  Subject Parcel
-  500-foot Mailing Notification Area
-  CC - Commercial Corridor
-  R1 - Single Family Residential

This map is not a survey and should not be used in place of a survey. While every effort is made to accurately depict the mapped area, errors and omissions may occur. Therefore, the City of Cape Coral cannot be held liable for incidents that may result due to the improper use of the information presented on this map. This map is not intended for construction, navigation, or engineering calculations. Please contact the Department of Development Services with any questions regarding this map product.



Sources: Esri, Maxar, Airbus DS, US
Geodatastyrelsen, Rijkswaterstaat,